

City of Lake Charles

326 Pujo Street P.O. Box 900 Lake Charles, LA 70602-0900

Meeting Agenda

Planning and Zoning Commission

Monday, September 8, 2025

5:00 PM

Council Chambers

OPEN MEETING

ROLL CALL

MINUTES OF PREVIOUS MEETING

SPECIAL ANNOUNCEMENTS

COMMISSION BUSINESS

PREFNL 25-19

LAKE CHARLES SUBDIVISION REGULATIONS

APPLICANT: NCV PROPERTIES/PHIL VINCENT (RIVERRIDGE SUBDIVISION) **SUBJECT:** Applicant is requesting Preliminary and Final Subdivision approval (Sec. 2.3 & 2.4) in order to re-subdivide a 1.47-acre tract of land M/L into two (2) residential lots, within a Residential Zoning District. Location of the request is **4700 Riverridge Drive.**

STAFF FINDINGS: The on-site and site plan reviews revealed that the proposed resubdivision of a 1.47-acre tract of land into two (2) residential lots will meet the minimum lot size for subdivision development. Therefore, staff recommends approval. Any approvals are conditioned on the applicant adhere to any recommendations or infrastructure improvements set forth by the Department of Engineering and Public Works.

MCU 25-12

CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: MICHAEL SHAMBLIN

SUBJECT: Applicant is requesting a Minor Conditional Use Permit (Sec 5-203(14)(a)) in order to reconstruct a church multi-use worship center utilizing a metal building with metal façade materials, within a Mixed Use Zoning District. Location of the request is **3626 Common Street.**

STAFF FINDINGS: The on-site and site plan reviews revealed that the applicant is requesting to construct a new church building utilizing a metal building with vertical metal siding. This is a replacement structure from hurricane damage. The previous structure utilized a brick façade. Staff's review revealed the proposed vertical metal siding does not appear to be architectural metal material and will utilize an exposed fastener system. Therefore, staff denied the MCU request.

SPC 25-10

CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: ANGELICO CONSTRUCTION COMPANY, LLC

SUBJECT: Applicant is requesting a Special Exception (Sec. 24-4-206) in order to expand an existing non-conforming (industrial import/export facility) use by constructing a 5,000sq.ft. pre-engineered metal building warehouse, within a Light Manufacturing Zoning District. Location of the request is **604 N. Enterprise Blvd.**

STAFF FINDINGS: The on-site and site plan reviews revealed that the applicant is requesting a Special Exception in order to expand an existing non-conforming (industrial import/export facility) use by constructing a 5,000 sf pre-engineered metal building warehouse, within a Light Manufacturing Zoning District. The primary use for the property in within the Light Manufacturing District, however this expansion falls right outside of this and falls within a Mixed Use Zoning District of the property.

SPC 25-11 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: KAREN PRIOLA

SUBJECT: Applicant is requesting a Special Exception (Sec. 24-4-206) in order to reduce required sixteen (16) parking spaces to fourteen (14) for four proposed duplexes, within a Mixed Use Zoning District. Location of the request is **3715 Common Street**.

STAFF FINDINGS: The on-site and site plan reviews revealed that the applicant is requesting a Special Exception in order to reduce required sixteen (16) parking spaces to fourteen (14) for four proposed duplexes, within a Mixed Use Zoning District. Staff's review revealed the proposed units are 2 bedroom and 1 bath. Staff can find no evidence of hardship, therefore cannot forward a position of support.

SPC 25-12 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: MINER ROGERS

SUBJECT: Applicant is requesting a Special Exception (Sec. 24-4-206) in order to reduce required forty-five (45) parking spaces to eleven (11) for proposed church facility, within a Neighborhood Zoning District. Location of the request is **2411 Mill Street.**

STAFF FINDINGS: The on-site and site plan reviews revealed that the applicant is requesting a Special Exception in order to reduce required forty-five (45) spaces to eleven (11) for proposed church facility, within a Neighborhood Zoning District. The proposed church is surrounded on all sides by single family residential properties. While the site previously had a church use, any overflow parking would have to be accommodated in a residential context and could be disruptive to the neighborhood. Therefore staff cannot forward a position of support.

VAR 25-42 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: KPPM RADIO

SUBJECT: Applicant is requesting a Variance (Sec. 24-4-205) in order to deviate from required exterior materials for new construction of a radio station within the Nellie Lutcher Overlay District, within a Mixed Use Zoning District. Location of the request is **413 Enterprise Blvd.**

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting to deviate from required exterior materials for new construction of a radio station within the Nellie Lutcher Overlay District. Per code: Building facades shall be brick or stone and the façade material must turn the corner of the building a distance of no less than 12'. Applicant previously obtained a variance, VAR 24-64, for an increased front setback. Staff could find no evidence of hardship; therefore cannot forward a position of support.

VAR 25-43 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: JOE B. STOMA/S & S CRAWFISH

SUBJECT: Applicant is requesting a Variance (Sec. 24-4-205) in order to eliminate the required permanently installed buffer fence around dumpster, within a Mixed Use Zoning District. Location of the request is **2604 Lake Street.**

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting a variance in order to eliminate the required permanently installed buffer fence around the

dumpster area. While this is a seasonal business, it is a permanent use on the property year round. Staff can find no evidence of hardship and therefore cannot forward a position of support.

VAR 25-44 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: KALE C. CRAIN

SUBJECT: Applicant is requesting Variances (Sec. 24-4-205) in order to construct four duplex dwelling units (8 units total) 1) maintaining an existing driveway encroaching required 15' bufferyard along east property line and 2) constructing a driveway less than 150 ft from the nearest intersecting street, within a Neighborhood Zoning District. Location of the request is the **Southeast corner East Street @ Bilbo Street**.

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting variances in order to construct 4 duplex dwelling units and 1) maintain an existing driveway encroaching the required 15' bufferyard along the East property line and 2) construct a driveway less than 150 ft from the nearest intersecting street, within a Neighborhood Zoning District. Staff's review revealed the property is bordered to the North, East, South by Residential properties and to the West by commercial property. If approved the applicant will be required to construct a 6' wood privacy fence on the East and South property lines. The property will also be required to meet all the landscape standards outlined in the zoning ordinance. Staff has a minor conditional use permit under review for the density.

VAR 25-46 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: KAREN PRIOLA

SUBJECT: Applicant is requesting Variances (Sec. 24-4-205) in order to construct four duplex dwelling units (8 units total) with 1) reduce required 25' front setback to 20' and 2) reduce required 15' bufferyards along north and south property lines to 8', within a Mixed Use Zoning District. Location of the request is **3715 Common Street**.

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting variances in order to construct four duplex dwelling units (8 units total) with 1) reduce required 25' front setback to 20' and 2) reduce required 15' bufferyards along north and south property lines to 8', within a Mixed Use Zoning District. The proposed property is bordered by what appears to be single family residential to the North and South, vacant property to the East, and commercial property to the West. While there are several examples of multi unit residential projects in the immediate area, staff could find no evidence of hardship for the listed variance, therefore cannot forward a position of support.

VAR 25-47 CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: MINER ROGERS

SUBJECT: Applicant is requesting to construct a new church facility with the following Variances (Sec. 24-4-205): 1) construct church on tract less than required one acre; 2) reduce required 55' front setback to 20'; 3) reduce required 15' rear bufferyard to 9' 6 7/8" and setback from 10' to 9' 6 7/8"; 4) reduce required 15' west side bufferyard to 5' and setback from 10' to 5'; 5) reduce required 15' east side bufferyard to 2' 0 3/4"; 6) reduction of landscape requirements, within a Neighborhood Zoning District. Location of the request is **2411 Mill Street.**

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting variances in to construct a new church facility with the following Variances (Sec. 24-4-205): 1) construct church on tract less than required one acre; 2) reduce required 55' front setback to 20'; 3) reduce required 15' rear bufferyard to 9' 6 7/8" and setback from 10' to 9' 6 7/8"; 4) reduce required 15' west side bufferyard to 5' and setback from 10' to 5'; 5) reduce required 15' east side bufferyard to 2' 0 3/4"; 6) reduction of landscape requirements, within a Neighborhood Zoning District. The proposed church is surrounded

on all sides by single family residential properties. While the site previously had a church use, staff can find no evidence of hardship for variances listed, therefore cannot forward a position of support.

VAR 25-48

CHAPTER 24 - LAKE CHARLES ZONING ORDINANCE

APPLICANT: BRIDGET EVANS, ARCHITECT

SUBJECT: Applicant is requesting to construct a new church facility with the following Variances (Sec. 24-4-205): 1) to construct a new curb cut into a proposed parking lot less than the required 150ft. from the nearest intersecting street and 2) to reduce required 15' front bufferyard to 12', within a Mixed Use Zoning District. Location of the request is **4855 Ihles Road.**

STAFF FINDINGS: The on-site and site plan reviews reveal the applicant is requesting variances in to 1) to construct a new curb cut into a proposed parking lot less than the required 150ft. from the nearest intersecting street and 2) to reduce required 15' front bufferyard to 12', within a Mixed Use Zoning District. The proposed property is bordered by commercial properties to the North, South, and West by commercial properties and to the East by a multifamily development. Due to access management concerns a curb cut onto lhles Road is discouraged, therefore both curb cuts are accessing Petite Rue. Staff finds this variance reasonable and acceptable for passage.

OTHER BUSINESS

ADJOURN



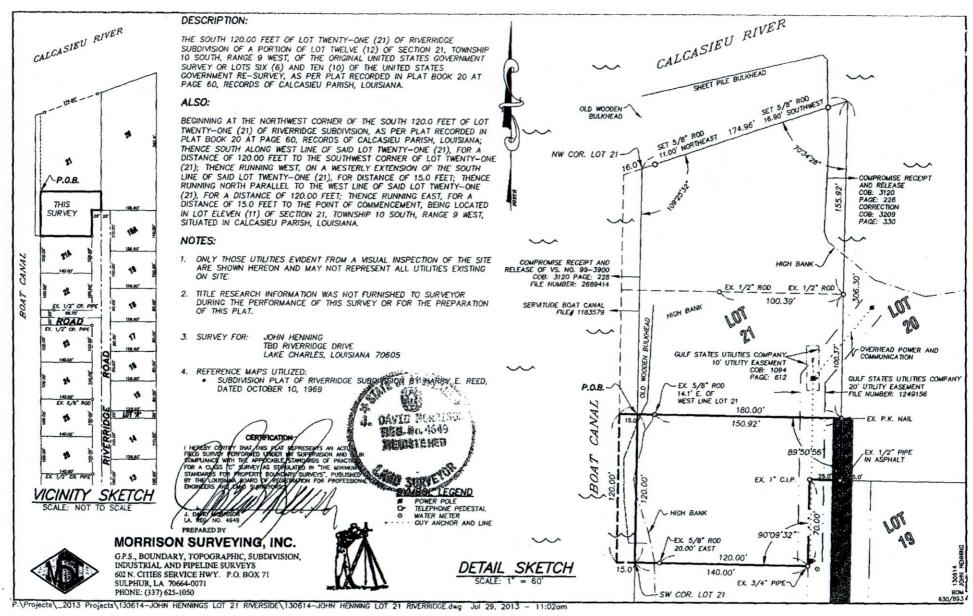
MARSHALL J. SIMIEN, JR. MAYOR

326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187 DEPARTMENT OF PLANNING & DEVELOPMENT OFFICE OF ZONING & LAND USE

Case Number: PREFNL 35-19

Applicant: Phil Vincent

Address: 4700 Riverridge Drive





MARSHALL J. SIMIEN, JR. MAYOR

CITY OF LAKE CHARLES

326 Pujo St. 7th Floor Lake Charles, LA 70601 (337) 491-1542 – FAX (337) 491-9187 PLANNING & DEVELOPMENT Office of Zoning and Land Use

CASE NO.: MCU 6

APPLICANT: Emmanuel 13apt. Church

LOCATION OF REQUEST: 3626 Common St.





Sunday School - 9:30 AM Sunday Worship 10:45 AM Wednesday Prayer Meeting 11:00 AM

June 08, 2025

To Whom It May Concern:

The Bible records in 1st Peter 2:13a (KJV), **Submit yourselves to every ordinance of man for the Lord's sake**.... So, it is the desire of Emmanuel Baptist Church to obey the ordinances of the city of Lake Charles, Louisiana. However, a bad lady named Hurricane Laura knocked our building to the ground in August of 2020, and we have been struggling as a congregation to recover from that blow ever since. So, we are humbly requesting an exception to two of our great city's rules.

The first is the ordinance that a place of business can only have one sign. We were unaware of this ordinance when we constructed a metal and wooden sign for our Hispanic congregation and for our congregation. When we were later able to afford a digital sign, the company we purchased the digital sign from put in their permit application that we would take the two wood and metal signs down. They did this without informing us or we would not have spent almost \$20,000.00 on the digital sign. So, please allow all three signs to remain. We think that the fact that our facility sits on almost three acres, that we have two incorporated congregations meeting at this location, and that the signs are not unattractive or distracting to traffic should also be considered in deciding the fate of our three signs.

The next request concerns a request to be granted an exception to the ordinance that says a metal framed and metal-skinned building with vertical panels cannot be allowed at our location. The following are reasons we would sincerely plead for this exception: 1. Our insurance company, Church Mutual, paid us but not enough to rebuild a replica replacement of our 1964 constructed worship center. We used most of the insurance money for the mitigation work, the demolition work, and then the remodeling of the two wings of our facility that were left standing. 2. We had less than \$200,000.00 of the remaining insurance money. We felt like we should use this money for capital outlay to provide for the future growth of our Church family. So, our plan was to build a metal framed building with a metal covering of vertical metal panels (just like the facility of Living Way Pentecostal Church on East McNeese Street was rebuilt after Hurricane Laura). After fire marshal requirements caused us to have to expend an additional \$25,000.00, we cut a check to our contractor to go ahead and purchase the metal frame and skin before prices went up even more. Neither we, our architect, nor our contractor had any idea that this type of building would not be allowed at this location. Please forgive our collective ignorance! But we have already spent the money on the material, and we know of no way to recover this almost \$90,000.00 expenditure.

Your kind consideration in this matter is greatly appreciated. If you need further information, please feel free to contact me at your convenience.

With Love.

'Cause Jesus Does!

Michael P. Shamblin, Ed.D.

Pastor, Emmanuel Baptist Church

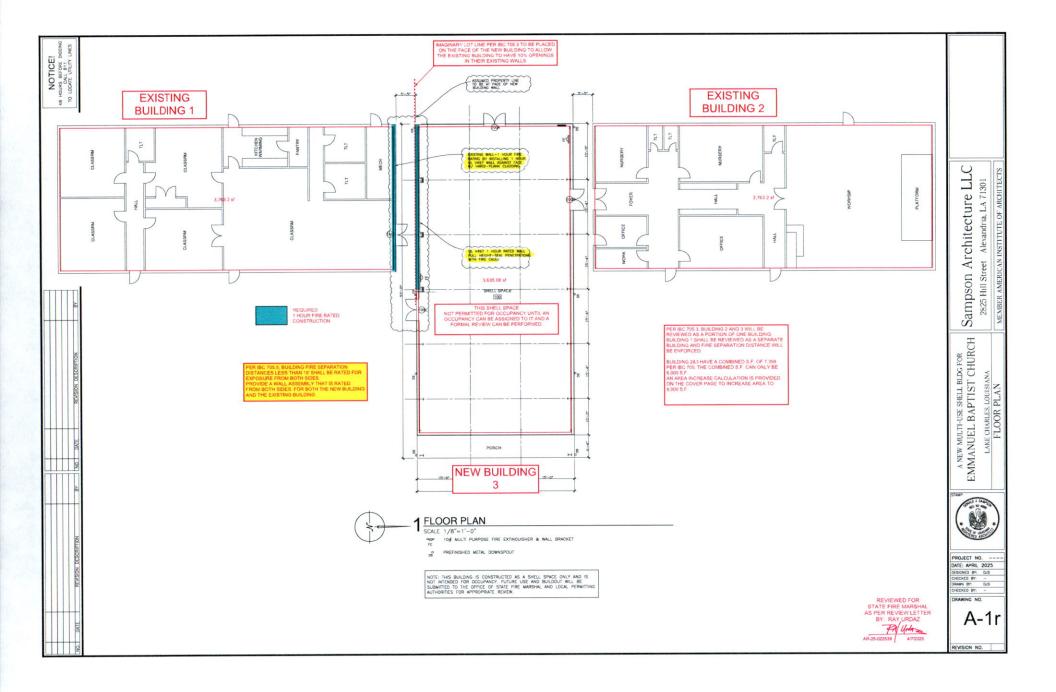
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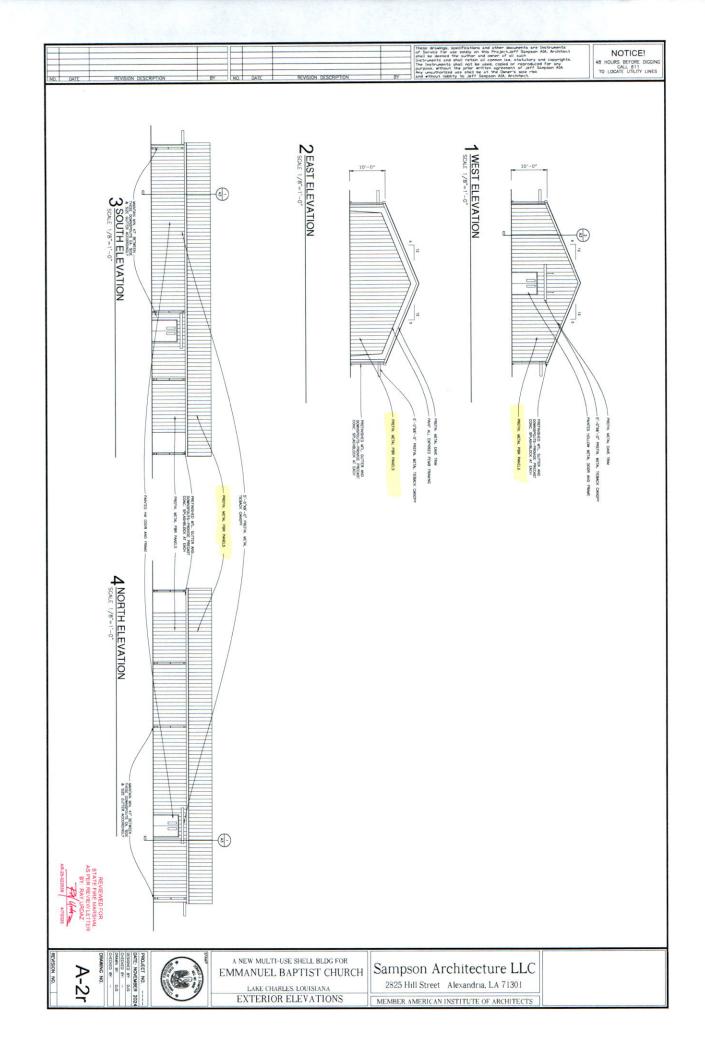
Emmanuel Baptist Church

3626 Common Street

Lake Charles, LA 70607

Phone: 337 478-3908 • Fax: 337 478-3908 • Email: ebcpastor@att.net• Church URL http://www.ebclc.com





NOTICE!
HOURS BEFORE DIG
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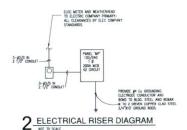
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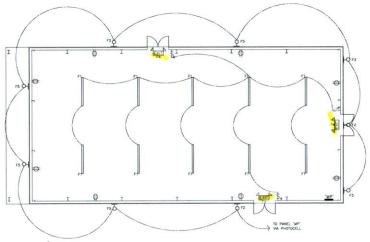
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LIGHT FIXTURE SCHEDULE

- FI 8'-0" LONG LED STRIP FIXTURE EQUAL TO LITHONIA MISSING W/ ADJ COLOR TEMP, 72W
- FZ LLMINARE XRV13 15W LED. 4000K, WITH BRONZE HOUSING, WALL MOUNTED, WITH SELF-CONTAINED 90 MIN. BATTERY PACK
- F3 LED WALL PACK EQUAL TO COOPER LUMARK AXCS2A, 21W, 4000K, REFRACTIVE LENS, 2700 LUMENS. MOUNT 9'-4" TO TOP
- F4 LED EXT/EMERGENCY COMBO LIGHT, SELF-DIAGNOSTIC, IN THERMOPLASTIC HOUSING EQUAL TO EMERGI-LITE WPR612M1R2LA
- FS LUMINARE KRV13 15W LED, 4000K, WITH BRONZE HOUSING, WALL MOUNTED.







1 FLOOR PLAN

SCALE 1/8"=1'-0"

ELECTRICAL SYMBOL SCHEDULE

CIRCUIT PANELBOARD

110V RECEPTACLE

OH WALL MOUNTED LED LIGHT FIXTURE

8' L LED STRIP FIXTURE-MOUNT TO PURLIN UNDERSIDE

\$4 FOUR WAY WALL SWITCH

LED COMBO EXIT/EMERGENCY LIGHT W/ BATTERY BACKUP

ELECTRICAL NOTES

ELECTRICAL NOTES

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REVIEWED FOR STATE FIRE MARSHAL AS PER REVIEW LETTER BY: RAY URDAZ AR-25-022539 47/2025

REVISION NO.

DRAWING NO. E-1r

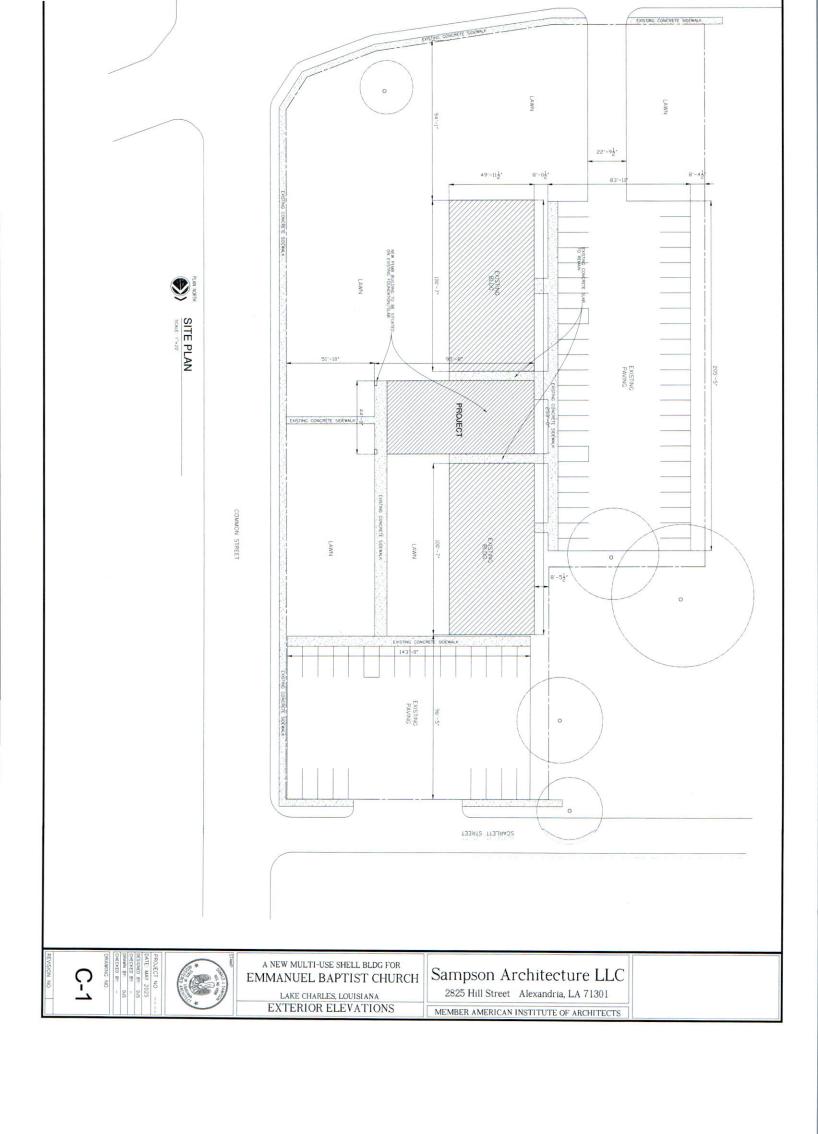
PROJECT NO. --DATE: NOVEMBER 202 DESIGNED BY: DJS
DHECKED BY: DRAWN BY: DJS
DHECKED BY: -

Sampson Architecture LLC 2825 Hill Street Alexandria, LA 71301

A NEW MULTI-USE SHELL BLDG FOR EMMANUEL BAPTIST CHURCH

LAKE CHARLES, LOUISIANA ELECTRICAL PLAN

MEMBER AMERICAN

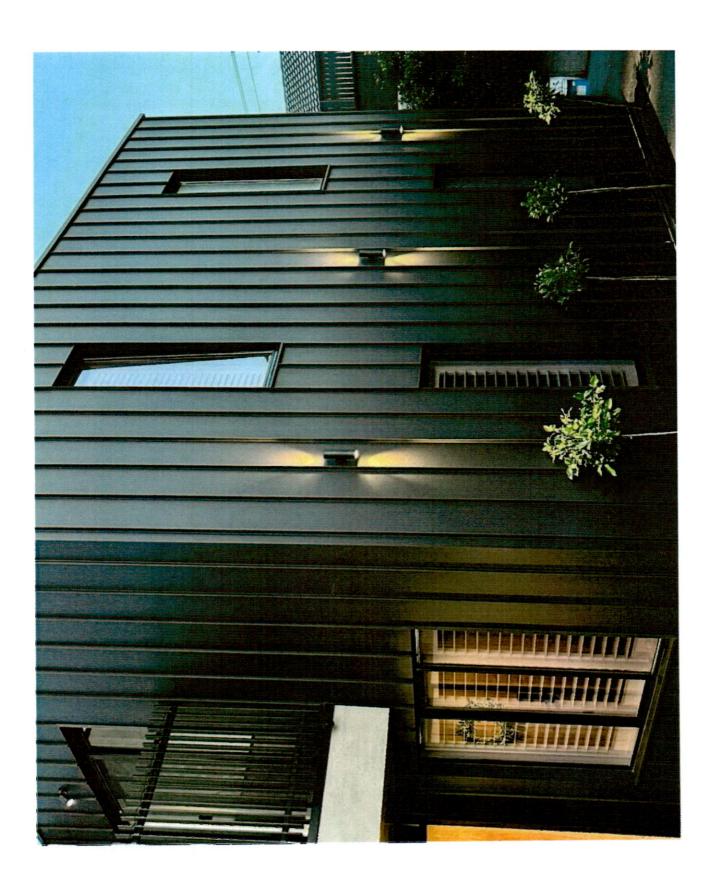


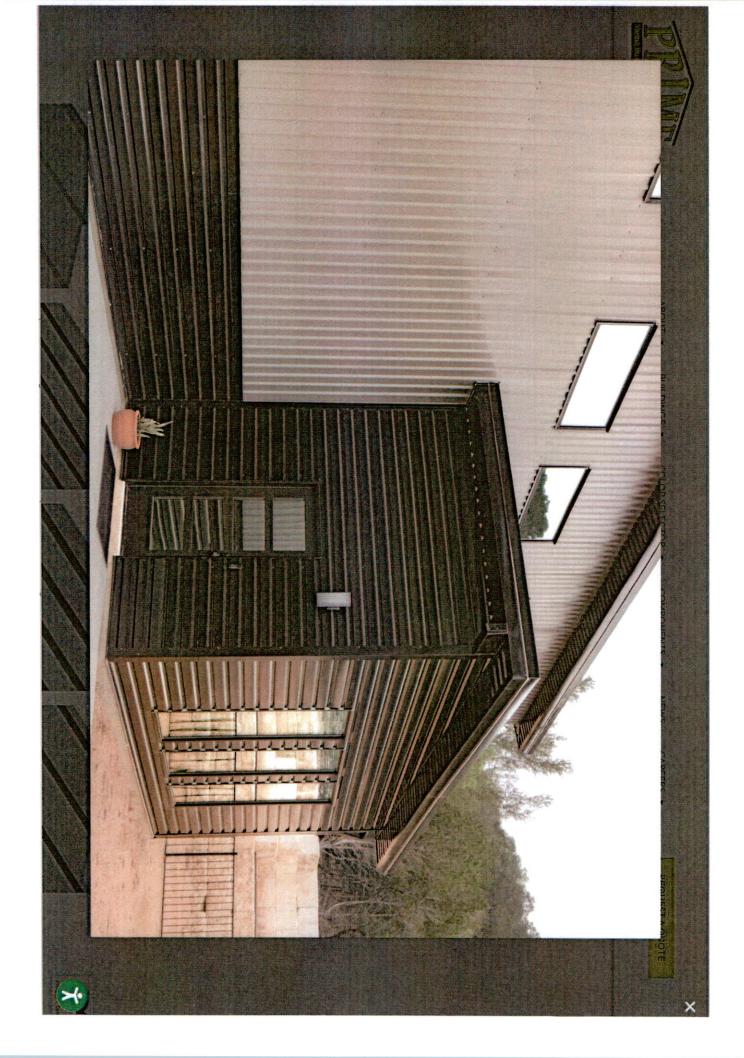
I, Michael Shamblin, state that if the Planning Commission does not approve the metal building the entirety of the façade will be covered with an approved non-metal material.

Case # MCU 25-12

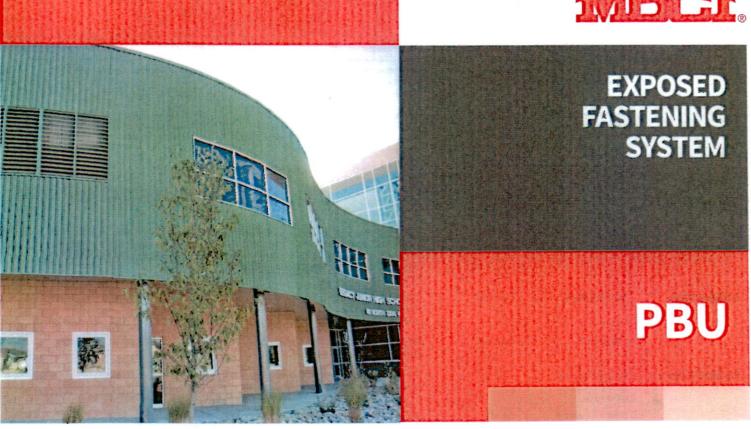
Emmanuel Baptist Church

3626 Common Street



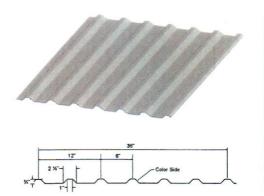






The PBU panel is an exposed fastener system that can be used for both roof and wall applications. PBU can be installed directly over purlins or joists. PBU offers the versatility of being used in both vertical and horizontal wall applications to give designers a contemporary appearance for their building project.

PBU is recommended for 1:12 or greater roof slopes.



PRODUCT SPECIFICATIONS

Applications: Roof and Wall

Coverage Widths: 36" Wall, 36" Roof

Rib Spacing: 6" on Center

Rib Height: 3/4"

Slope: Minimum 1:12

Panel Attachment: Exposed

Fastening System

Gauges: 26 (standard); 29, 24, 22 (optional)

Finishes: Smooth (standard);

Embossed (optional)

Coatings: Galvalume" Plus, Signature' 200, Signature' 300

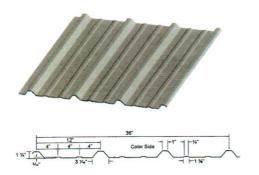




EXPOSED FASTENING SYSTEM

PBR

The PBR panel is commonly used for a wide variety of architectural, agricultural, commercial and industrial applications. PBR is a structural panel and an exposed fastener panel that can be used for both roof and wall applications. The minimum roof slope for PBR is ½:12.



PRODUCT SPECIFICATIONS

Applications: Roof and Wall

Coverage Widths: 36"

Rib Spacing: 12" on center

Rib Height: 11/4"

Minimum Slope: 1/2:12

Panel Attachment:

Exposed Fastening System

Gauges: 26 (Standard); 22, 24, 29 (Optional)

Finishes: Smooth (Standard);

Embossed (Optional)

Coatings: Galvalume[®] Plus, Galvanized with Acrylic Coating*,

Signature* 200, Signature* 300

*Galvanized with Acrylic Coating helps to resist "white rust" and prevent stack storage issues. For use in agricultural, animal confinement, and other applications where moisture protection is needed. Only available in 26 gauge panels.



MARSHALL J. SIMIEN, JR. MAYOR

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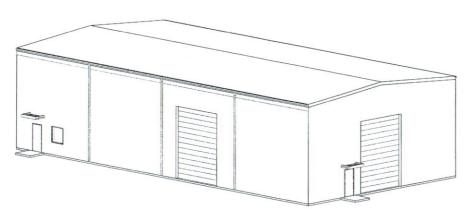
Case Number: SPC, 25-10

Applicant: Angelico Construction Co

Address: 604 N Enterprise Blvd

NEW SHOP & OFFICE for **EASTLAKE TERMINAL**

> NORTH ENTERPRISE BLVD LAKE CHARLES, LA 70601



Sheet List							
Sheet Number	Sheet Name						
T-100	TITLE SHEET						
C-100	SITE PLAN						
S-200	FOUNDATION PLAN						
A-100	OVERALL FLOOR PLAN						
A-200	BUILDING ELEVATIONS AND SECTIONS						
A-300	INTERIORS & MILLWORK						
A-400	ENLARGED DETAILS & WOOD FRAMING DETAILS						



STAMP

NORTH ENTERPRISE BLVD LAKE CHARLES, LA 70601

NEW SHOP & OFFICE for EASTLAKE TERMINAL



TITLE SHEET

T-100

1 VICINITY MAP Lake Charles

ND

EVATION NAME EVATION HEIGHT

TAIL I.D. TAG MILAR" TAG TAIL NUMBER

EET NUMBER OR SYMBOL

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DETAIL I.D. TAG

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R FIRE RATED WALL ASSEMBLY

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GENERAL NOTES

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES FOR CLARIFICATION.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITION AND NOTIFY THE ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO BIDDING.
- CONTRACTOR'S PARKING OF CARS, TRUCKS, EQUIPMENT AND MATERIAL WILL BE ALLOWED WITHIN THE CONTRACT LIMITS ONLY.
- THE CONTRACTOR/S SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL TRENCHING AND EXCAVATION WITH ARCHITECT. OWNER AND JOR RESPECTIVE ENGINEER PRIOR TO WORK, CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING CONDITIONS, LAYOUT AND OBTAIN APPROVAL OF ARCHITECT/OWNER PRIOR TO PRIOR TO BEGINNING CONSTRUCTION.
- OWNER SHALL ENSURE ADA COMPLIANT PARKING & SITE COMPONENTS ARE PROVIDED AS REQUIRED. NO SITE WORK IS INCLUDED IN THIS

BUILDING DATA

BUILDING CODES: INTERNATIONAL BUILDING CODE: NFPA 101 LIFE SAFETY:

128 VMPH

FLOOD ZONE: OCCUPANCY IBC: OCCUPANCY NFPA: OCCUPANT LOAD: Zone - X STORAGE S-1 STORAGE

BUILDING AREA: CONSTRUCTION TYPE: ALLOWABLE AREA:

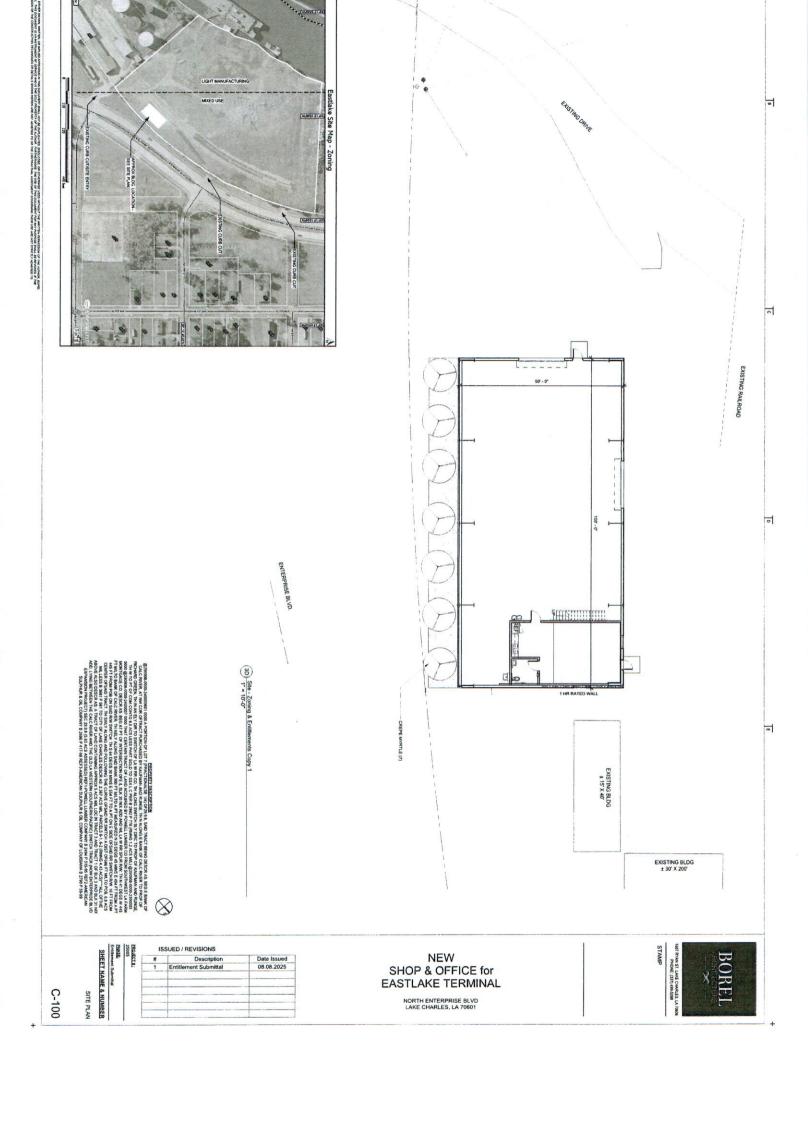
V-B S-1 TYPE V-B =9.000 SF

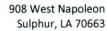
FIRE EXTINGUISHERS:
PROVIDED: TYPE 4A-80BC PROVIDED FOR EVERY 11,250 SF
MAX TRAVEL DISTANCES BETWEEN EXTINGUISHERS = 75 (50° FOR REPAIR

GARAGE).

100 DISTANCE ALLOWED FOR 20 LB ABC DRY CHEMICAL W/ AGENT DISCHARGE OF
1 LB/SEC MIN.

Map data ©2023 Terms of Use Report a map error







Phone: (337) 287-4204 FAX: (337)287-4209

www.angelicoconstruction.com

June 9, 2025

City of Lake Charles Planning Department Office of Zoning & Land Use 326 Pujo Street Lake Charles, LA 70602

Re: Letter of Intent for Eastlake Terminal Warehouse

Special exception kum

This letter of intent is submitted in support of a request for a variance to allow the construction of a new 50 ft x 100 ft pre-engineered metal building warehouse on the property located directly north of 604 Enterprise Blvd. The proposed structure will consist of an open warehouse space with a 500 sq ft break area with restroom. The request is to exempt the property from the current set back requirements.

Thank you,



MARSHALL J. SIMIEN, JR. MAYOR

326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187 DEPARTMENT OF PLANNING & DEVELOPMENT OFFICE OF ZONING & LANDUSE

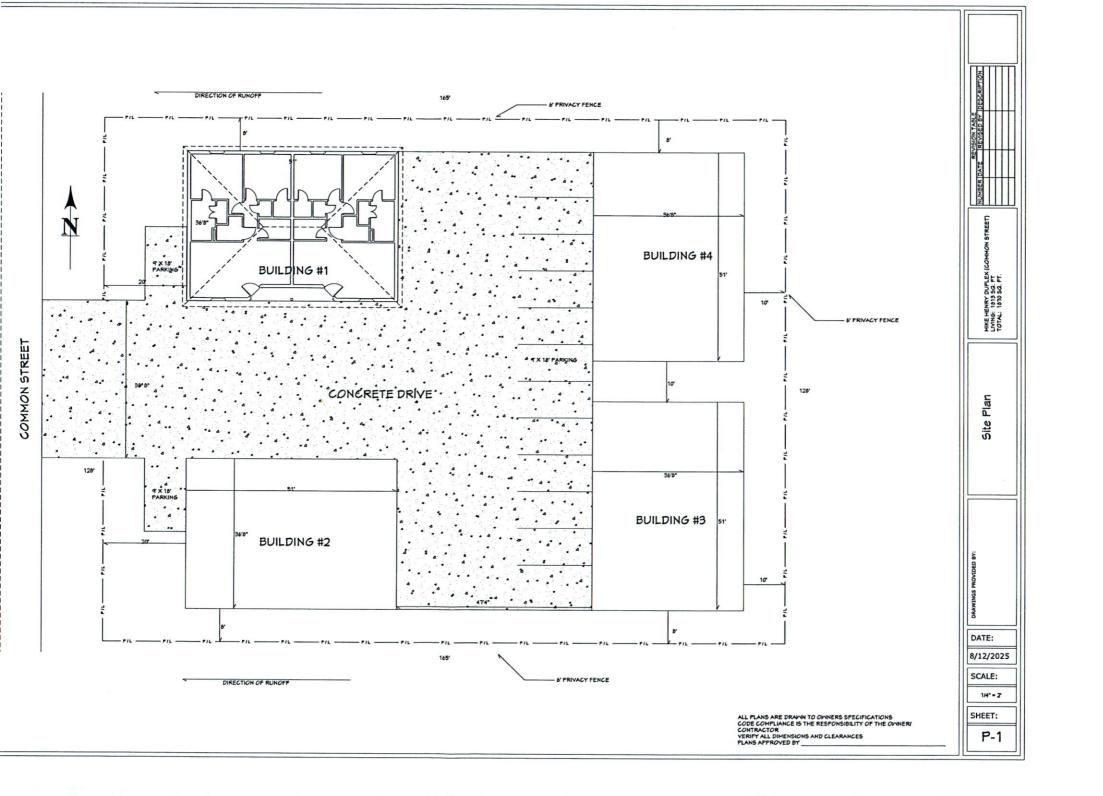
Case Number: SPC 25-11

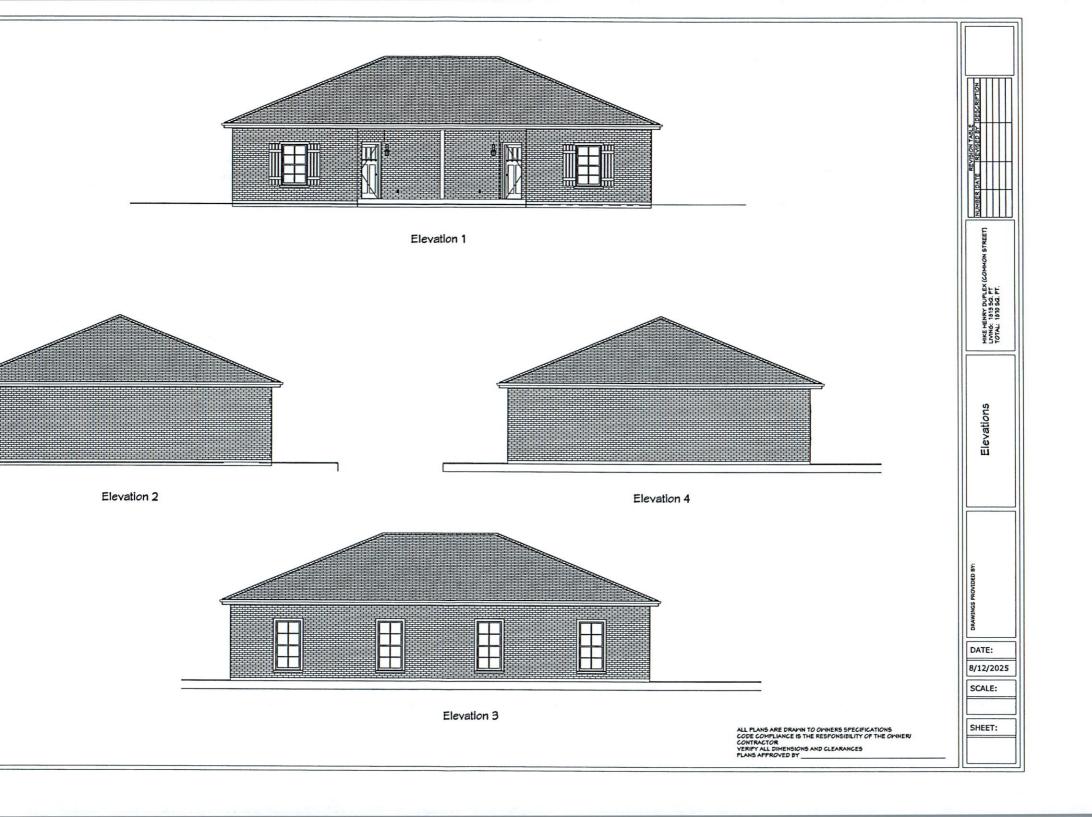
Applicant: Karen Priola

Address: 3715 Common Street

Planning Commission Members,

I am asking for Special Exception in order to construct four proposed duplexes with reduced parking from the required 16 parking spaces to 12 parking spaces.







MARSHALL J. SIMIEN, JR. MAYOR

326 Pujo Street • P.O. Box 900 Lake Charles, I.A 70602-0900 (337) 491-1542 • FAX (337) 491-9187

DEPARTMENT OF PLANNING & DEVELOPMENT OFFICE OF ZONING & LAND USE

Case Number: SPC 25-12

Applicant: Miner Rogers

Address: 2411 Mill Street

MTR Management P.O. Box 766 Independence, La 70443



"We Plan, We Execute, We Review" 8(A)Certified Company Licensed, Bonded, Insured

Date: 08/07/2025

To: Planning Department or Zoning Board Name

From: Miner Rogers / MTR Management

Subject: Request for Variances and Special Exception - New Jerusalem Baptist Church Ministries Construction Project

To Whom It May Concern:

On behalf of New Jerusalem Baptist Church Ministries, I am formally submitting this Letter of Intent to outline our plans for the proposed church facility at 2411 Mill St., Lake Charles, LA 70801.

Requested Variances and Special Exception

Following a recent review of the site plan, we respectfully request approval for the following variances and special exception, which are necessary for the project to proceed as designed:

Setback and Bufferyard Variances

- Front setback: Proposed at 20' (required: 55')
- Rear setback: Proposed at 9'6 7/8" (required: 15')
- Westside setback: Proposed at 5' (required: 15')
- Eastside bufferyard: Proposed at 2'0 ¾" (required: 15')
- Rear bufferyard: Proposed at 4'6 7/8" (required: 15')
- Westside bufferyard: Proposed at 5' (required: 15')

Lot Size Variance

Permission to construct on a tract that is less than the required 1 acre.

Parking Reduction (Special Exception)

Request to reduce parking from the required 45 spaces to 11 spaces.

Potential Additional Landscape Variance

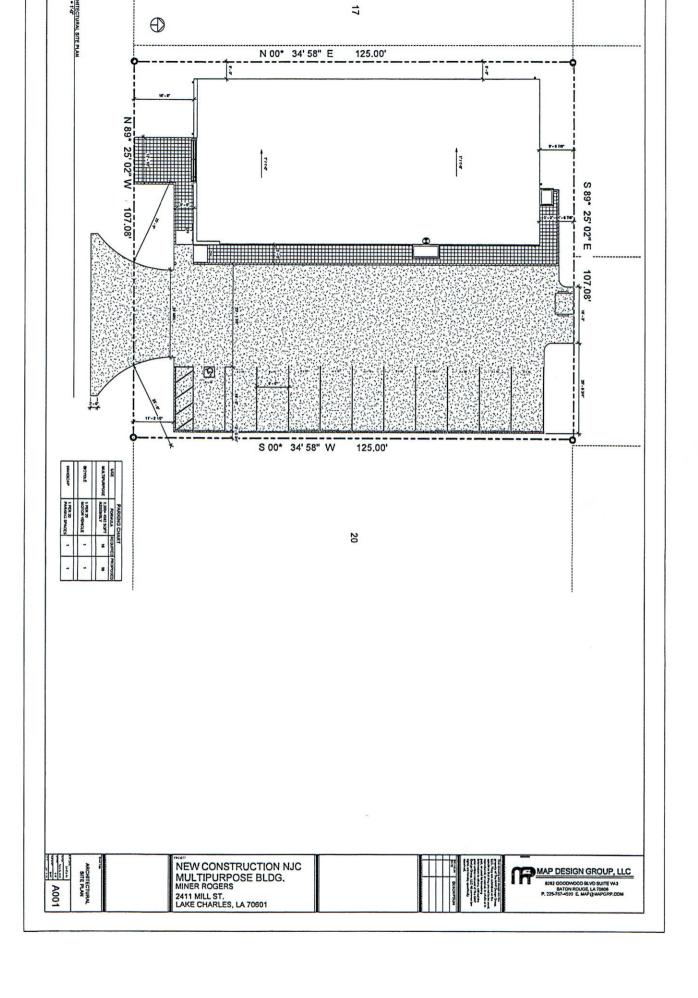
• We are currently reviewing the landscaping requirements included in the plan review letter. If it is determined that we cannot meet these standards, we are submitting an additional variance request for landscaping reduction.

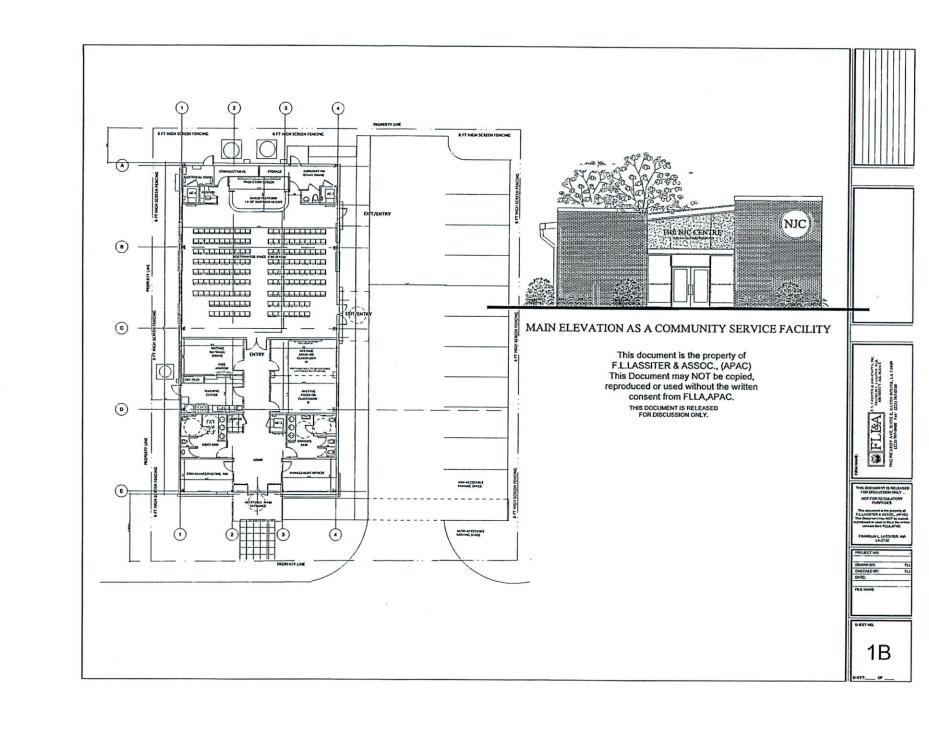
In Conclusion, we Thank you for your consideration of our requests. We look forward to working together to ensure the successful development of this important community facility.

Should you need further documentation or clarification, please contact me at [Your Contact Information].

Sincerely,

Miner Rogers Program Manager









Page 4 of 4 Report generated on 8/11/2025 at 3:57:48 PM



MARSHALL J. SIMIEN, JR. MAYOR

CITY OF LAKE CHARLES

326 Pujo St. 7th Floor Lake Charles, LA 70601 (337) 491-1542 – FAX (337) 491-9187 PLANNING & DEVELOPMENT Office of Zoning and Land Use

CASE NO. VAR 25-42

APPLICANT: KPPM Radio

LOCATION OF REQUEST: 413 Enterprise Blvd

To:

Planning and Zoning Department City of Lake Charles 326 Pujo Street Lake Charles, LA 70601

Subject: Request for Variance - Exterior Building Materials

Dear Planning and Zoning Board,

I am writing to formally request a variance from the city's current building material requirements for the property located at 413 North Enterprise Blvd. Lake Charles, LA 70601.

Per current regulations, full brick is required for exterior construction. Due to budget considerations and design flexibility, I am respectfully requesting approval to either:

- Leave the exterior of the existing building as-is, with no brick or additional materials added, or
- Use an approved alternative material in full (such as Hardie board or stucco), in a way that complements the surrounding aesthetic and maintains architectural integrity, or
- Apply brick to only a portion of the building, rather than bricking the entire exterior.

We are committed to upholding the overall design standards of the neighborhood and will ensure that any alternative materials used are durable, attractive, and aligned with community character.

We appreciate your consideration and hope for a favorable response that will allow us to move forward with the project in a timely and cost-effective manner.

Please feel free to contact me if any additional documentation or clarification is needed.

Sincerely, Cullen Washington













APPLICATION FOR PUBLIC HEARING

PLANNING DIRECTOR

CITY OF LAKE CHARLES, LOUISIANA

DATE: 11412025	TOTAL FEE: \$	
THIS APPLICATION IS ISSUED IN ACCORDANCE WITH THE LAWS, ORDINANCE DEPARTMENT OF THE CITY OF LAKE CHARLES, LA UNDER THE PROVISIONS OF CAND ORDINANCES OF THE CITY OF LAKE CHARLES, THE UNDERSIGNED PARTY HE	ORDINANCE 10598 AND ALL OTHER APPLICABLE COL	DES
PROPERTY ADDRESS/LOCATION: 413 N ENTERPRISE Blv	ıd	_
LEGAL DESCRIPTION: See attached		
DESCRIPTION OF JOB: Variance request for up	terior of building mat	erí
WITH PLANS ATTACHED HERETO:	0	
APPLICANT: KPPM Radio	PHONE: (337) 912-0382	
MAILING ADDRESS: 417 N Enterprise Blud	ZIP: 70601	341
EMAIL ADDRESS: Shabachead in 9350 gmail com		
OWNER OF RECORD: Cullen Washington		
[] WITH ZONING DISTRICT AMENDMENT: ANTICIPATED DEVELOPMENT SCHEDULE: DATE OF APPROVAL: COMMENCEMENT OF CONSTRUCTION: EXPECTED COMPLETION:	5 URBAN CORE TRANSECT []OTHER []N/A NG ELEMENT ELEMENT EVELOPMENT CASE NO CASE NO	
FLOOD PLAIN MANAGEMENT REGULATIONS: 1.) FIRM ZONE: () "X" [] "A" [] "AE" [] "D" [] OTHER 3.) ELEVATION CERTIFICATE REQUIRED: [] YES [] NO	2.) FLOODWAY: [] IN [] OUT 4.) BASE FLOOD ELEVATION:MSL	
REMARKS OR SPECIAL CONDITIONS:		_
T IS HEREBY AGREED UPON THAT MY APPLICATION FOR THE ABOVE REQUE APPLICABLE CODES, REGULATIONS, AND POLICIES OF THE CITY OF LAKE CHAR TO COMPLY WITH ANY CONDITION LEGALLY IMPOSED ON THIS APPLICATION S 10598 WILL RENDER THE REQUEST NULL AND VOID.	RLES. ANY ATTEMPT TO ABROGATE SUCH OR FAIL	URF

APPLICANT

DATE

DATE

To:

Planning and Zoning Department City of Lake Charles 326 Pujo Street Lake Charles, LA 70601

Subject: Request for Variance - Exterior Building Materials

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- Apply brick to only a portion of the building, rather than bricking the entire exterior.

We are committed to upholding the overall design standards of the neighborhood and will ensure that any alternative materials used are durable, attractive, and aligned with community character.

We appreciate your consideration and hope for a favorable response that will allow us to move forward with the project in a timely and cost-effective manner.

Please feel free to contact me if any additional documentation or clarification is needed.

Sincerely, Cullen Washington















MARSHALL J. SIMIEN, JR. MAYOR

326 Pujo Street • P.O. Box 900 Lake Charles, I.A 70602-0900 (337) 491-1542 • FAX (337) 491-9187 DEPARTMENT OF
PLANNING & DEVELOPMENT
OFFICE OF ZONING & LAND USE

Case Number: VAR 25-43

Applicant: Joe B Stoma

Address: 2604 Lake Street

JBL Operations LLC DBA S&S Crawfish Lake Charles 2604 Lake Street Lake Charles, LA 70601

July 15, 2025

City of Lake Charles Planning Department, Office of Zoning & Land Use Lake Charles, LA 70602

Subject: Letter of Intent by Applicant - Request for Variance

To Whom It May Concern:

I am writing to formally request a variance from the city ordinance requiring that any dumpster or trash receptacle be enclosed or fenced in on private property. I would like to acknowledge that there is currently no dumpster on the property and the violation issued on March 7, 2025 has been cured.

My property is located at 2604 Lake Street and I am subject to compliance with Ordinance SEC.5-204(2f). While I understand and respect the purpose of the ordinance—to maintain neighborhood aesthetics and safety—I am facing a unique hardship that makes compliance extremely difficult without creating a significant burden.

Specifically, my property has limited parking availability. When the restaurant drive-thru is open, we generally employ ten or more people and each drive their own vehicle to work. Constructing a fence enclosure for the trash dumpster would directly interfere with the already constrained spaces, making it difficult or impossible to park vehicles safely on the property.

I am committed to keeping my property clean and maintaining the appearance of the neighborhood. Our restaurant is seasonal and open approximately three months of the year, and when in operation, the dumpster is located at the back of the property.

I respectfully request that the City grant a variance or exemption to the fencing requirement under the hardship clause. I am happy to provide additional documentation, photos, or meet with the appropriate committee to further discuss this request.

Thank you for your time and consideration.

Sincerely,

Joe B Stoma, IV









MARSHALL J. SIMIEN, JR. MAYOR

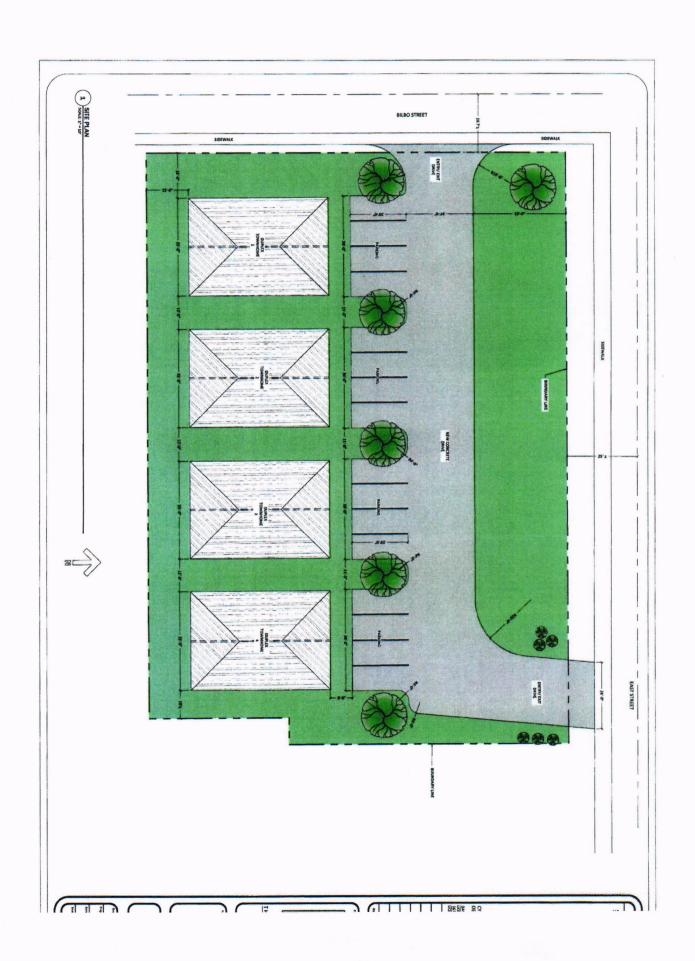
326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187

DEPARTMENT OF PLANNING & DEVELOPMENT
OFFICE OF ZONING & LAND USE

Case Number: VAR 25-44

Applicant: Kale C Crain

Address: 404 East Street SE cor. East St @



Letter of intent

Kale C Crain

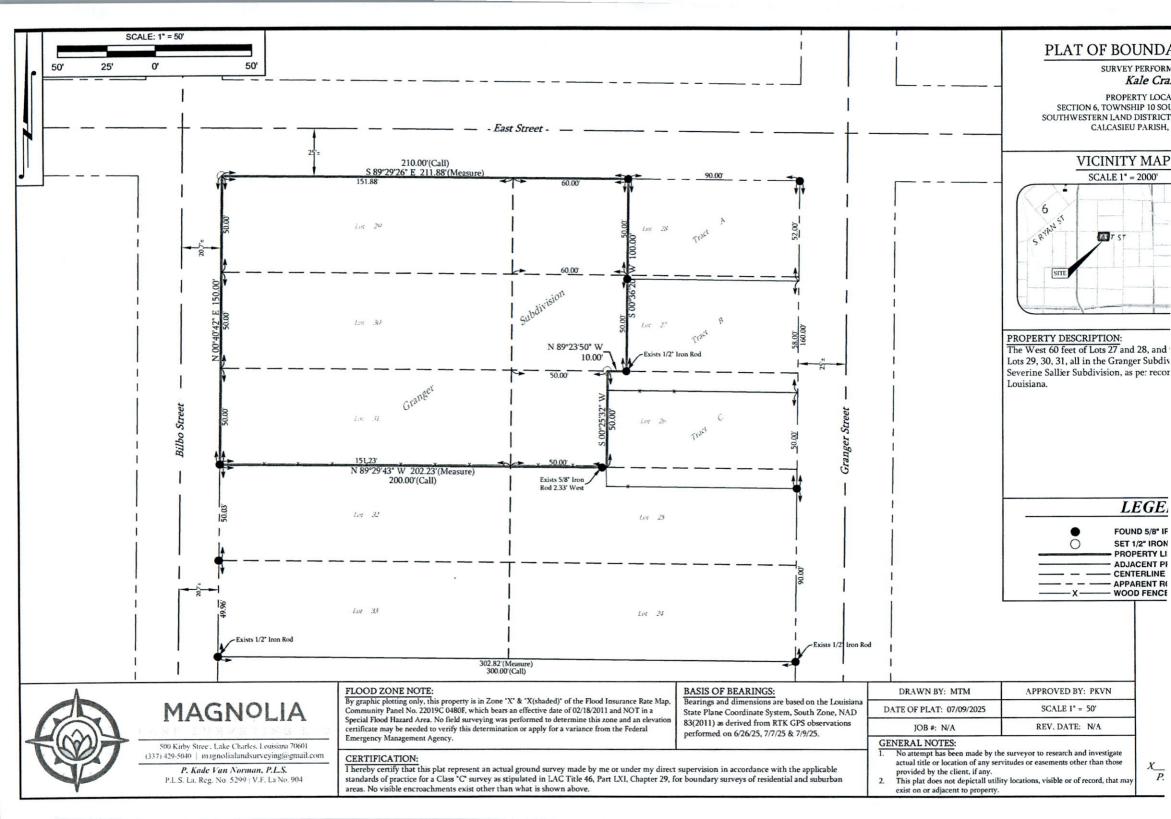
413 East St.

Lake Charles LA, 70601

Requesting a variance on two encroachments on the development of a proposed structure at 404 East Street. Proposed structure will be four duplexes/townhomes. First encroachment is an existing driveway on the east boundry line which encroaches within the 15 foot bufferyard. Requesting the driveway be allowed to remain. Seccond, the encroachment of the duplex/townhome on the east boundry line is at 10 feet rather than the required 15 feet.

Thank you,

Kale C. Crain





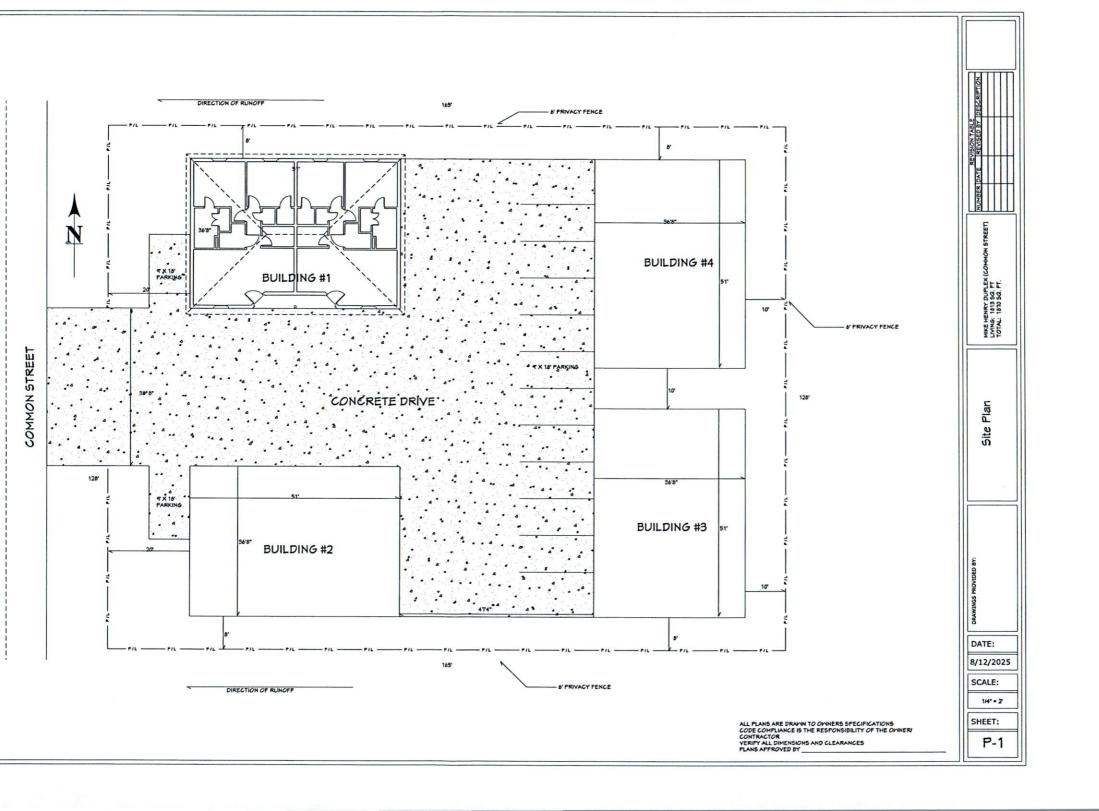
MARSHALL J. SIMIEN, JR. MAYOR 326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187 DEPARTMENT OF
PLANNING & DEVELOPMENT
OFFICE OF ZONING & LAND USE

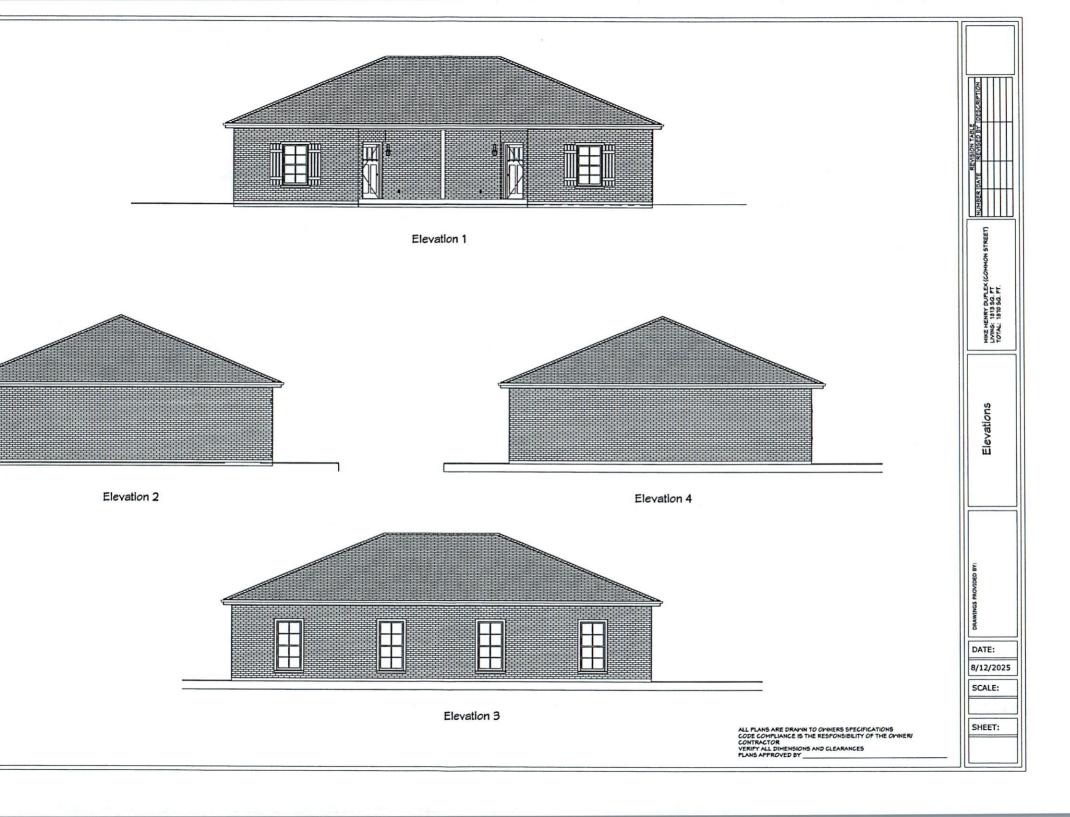
Case Numb	per: VAR 25-46	-
Applicant: _	Karen Priola	
Address.	3715 Common Street	

Planning Commission Members,

I am asking for two Variances pertaining to the new construction of four proposed duplexes within a Mixed Use Zoning District.

- 1. Variance in order to reduce the front setback requirement of 25' to 20'.
- 2. Variance in order to reduce the side bufferyards along the North and South property lines from the required 15' to 8' on each side.







MARSHALL J. SIMIEN, JR. MAYOR

326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187

DEPARTMENT OF PLANNING & DEVELOPMENT OFFICE OF ZONING & LAND USE

Case Number: VAR 25-47

Applicant: Miner Bogers

Address: 2411 Mill Street

MTR Management P.O. Box 766 Independence, La 70443



"We Plan, We Execute, We Review" 8(A)Certified Company Licensed, Bonded, Insured

Date: 08/07/2025

To: Planning Department or Zoning Board Name

From: Miner Rogers / MTR Management

Subject: Request for Variances and Special Exception - New Jerusalem Baptist Church Ministries Construction Project

To Whom It May Concern:

On behalf of New Jerusalem Baptist Church Ministries, I am formally submitting this Letter of Intent to outline our plans for the proposed church facility at 2411 Mill St., Lake Charles, LA 70801.

Requested Variances and Special Exception

Following a recent review of the site plan, we respectfully request approval for the following variances and special exception, which are necessary for the project to proceed as designed:

Setback and Bufferyard Variances

- Front setback: Proposed at 20' (required: 55')
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- Rear bufferyard: Proposed at 4'6 7/8" (required: 15')
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Lot Size Variance

• Permission to construct on a tract that is less than the required 1 acre.

Parking Reduction (Special Exception)

Request to reduce parking from the required 45 spaces to 11 spaces.

Potential Additional Landscape Variance

• We are currently reviewing the landscaping requirements included in the plan review letter. If it is determined that we cannot meet these standards, we are submitting an additional variance request for landscaping reduction.

In Conclusion, we Thank you for your consideration of our requests. We look forward to working together to ensure the successful development of this important community facility.

Should you need further documentation or clarification, please contact me at [Your Contact Information].

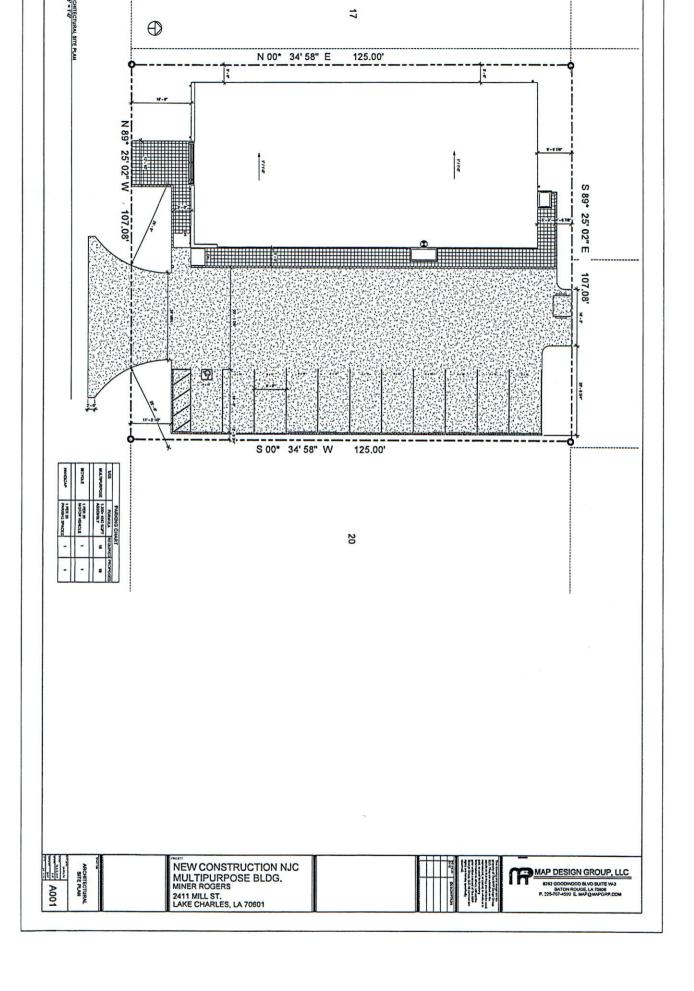
Sincerely,

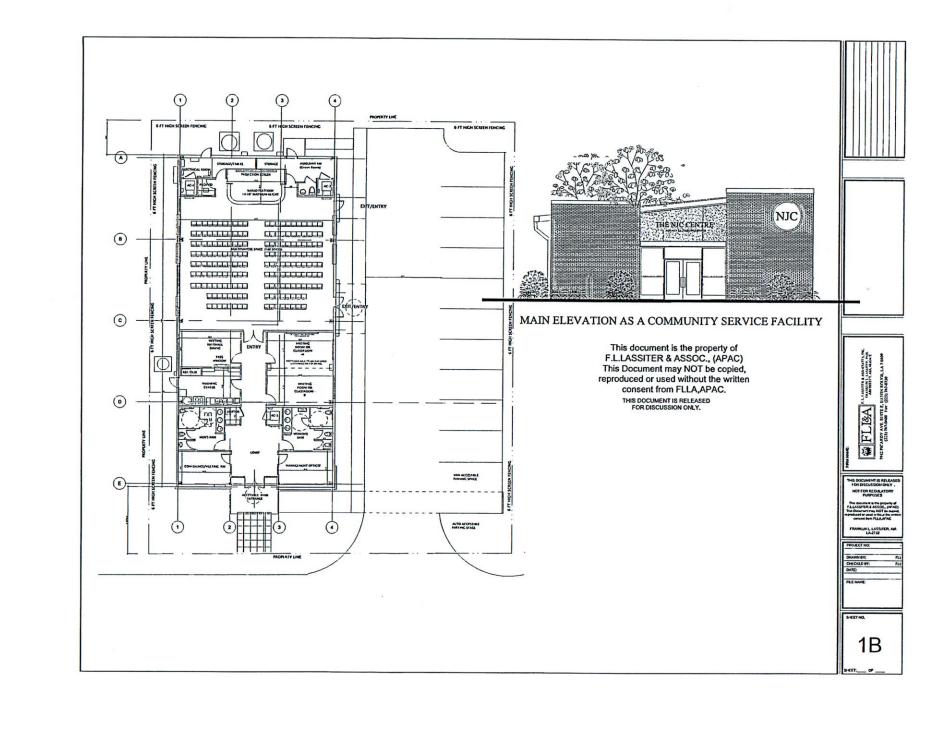
Miner Rogers
Program Manager





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MARSHALL J. SIMIEN, JR. MAYOR 326 Pujo Street • P.O. Box 900 Lake Charles, LA 70602-0900 (337) 491-1542 • FAX (337) 491-9187 DEPARTMENT OF PLANNING & DEVELOPMENT OFFICE OF ZONING & LAND USE

Case Number: VAR 25-48

Applicant: Bridget Evans

Address: 4855 thes Road



August 18, 2025

City of Lake Charles Planning Department

RE:

4855 Ihles Road Building - LETTER OF INTENT

MCU / Variance Permit Application - Permit #2025-49027

4855 Ihles Road

Lake Charles, LA 70605

702 Dr. Michael DeBakey Drive Lake Charles, LA 70601 To Whom It May Concern,

We are applying for a MCU and variance permit for two items for the above referenced project location.

ph: 337.439.8871 fax: 337.439.8872

The MCU is to request a retail space (pharmacy business) within the mixed use zone as part of the building's business occupants.

www.champeaux.biz

Two variances are being requested. We have a 12' front road setback to the parking lot along Ihles Road in lieu of the 15' required due to being a state road. The precedent is the north and south neighbors as they are both 10' or less. We are also requesting a variance for the necessary curb cut on Petite Rue Road that is closer than 150' from the intersection. There is also a precedent set as the south neighbor has this similar arrangement in place.

Both of these variance requests are in keeping with development already in place on both the north and south neighbors. The reason for the two curb cuts on Petite Rue is to keep a curb cut off of Ihles and aid in smoother traffic flow in and out of the parking lot.

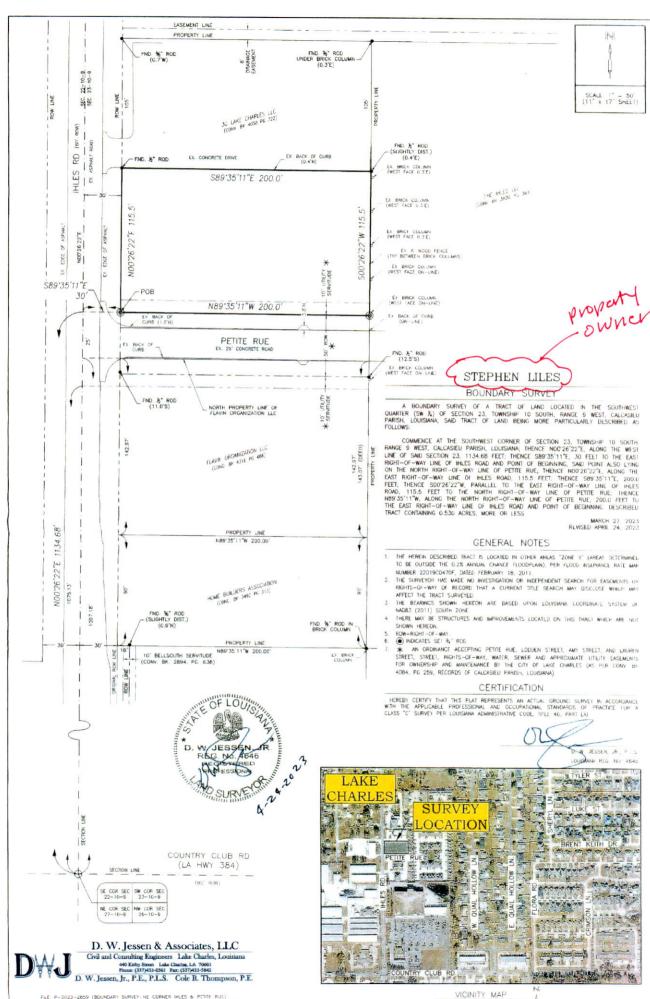
Please call our office with any questions.

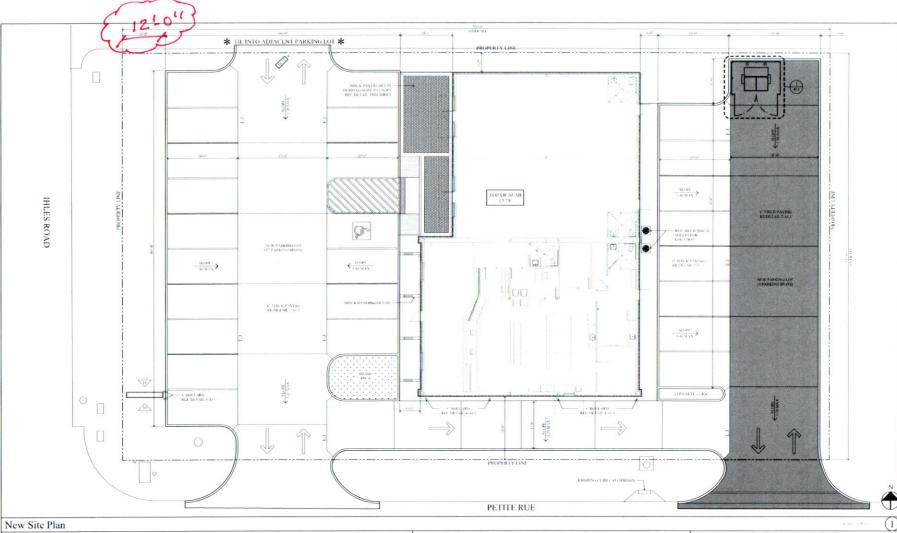
Sincerely,

Bridget Evans, Architect

Principal, Champeaux Evans Hotard, APAC

Bridget V. Evens





SITE PREPARATION NOTES.

STEER TO PLAN

Typical Detail for Brick Pavers in Sidewalk

PROVIDE SELECTFILE TO A LINEL JUST BELOW THE FINNEN AND ELEVATION NOTED. SELECTFILE SHOULD CONNECT OF AN ITY OR MANDY CLAY WITH A LIQUID LIMIT OF 30 TO 42 AND PLANTED TYPING YOUR TO 12 TO 2. THE PLANTED THE PLANTED AND COMPACT THE TO SELECT THE TOTAL TO AND COMPACT THE TOTAL TO SELECT THE TOTAL THE PLANTED THE PLANTED THE PLANTED THE TOTAL THE

CONCRETE - PARKING LOT STRIPING F COAE SHERWIN BILLIAMS SHEPAST PREMIEM ALRYD ZONE MARKING PAINE A 900 SHERO APPROVED LOTAL (150 MILS WIT 75 MILS DRY) APPROVIMATELY 400 LINEAL LEEF OF STANDARD 4" WIDE STRIPE PER GALLON

- GENERAL NOTES

 L. COMBRACTOR SHALL, POWER WASH PAYMENT PRIOR TO ALL STRIPTING
 ACTIVITIES

 2. STRIPTING SHALLEB: COMPLETED ON A DRY PAYMENT SURLAY, WITH NO
 MOSTURE OF PONENCION WATER

 3. ALL PAYMENT STRIPTING SHALL HAVE A LYLAK WARRANTY FOR ADHINON
 AND APPLARENCY.

2402

Ihles Road Development

CHAMPEAUX

EVANS HOTARD ARCHITECTS A P. A . C

A1.0

CONTRACTOR SHALL CUT AND REMOVE THE UPPER 4 OF EXISTING GRADE IMMEDIATELY UNDER THE REGISTRO PAD AND TO A BORZONT ALD DISTANCE OF SOUTHIEF THE NATIS PREMICTED FOR THE THE CLAY AND UNSERTEDIATE SOOT HE EXPOSED SHE REPORT SURFACE ISSUED, IN CONSTRUCTED TO LYSINGE HEAT AND TRADE SURFACE EXISTS CHIN WHICH TO PLACE SURFIT THE LAYS AREAS THAT ARE UNDUSTRABLY OF THE PROCESSING OF THE PROCESSING



