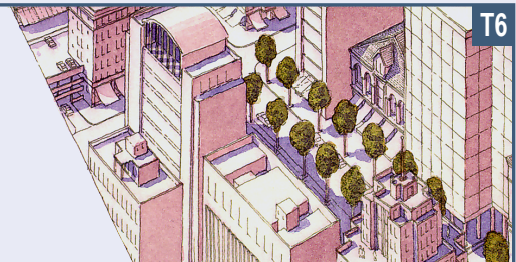
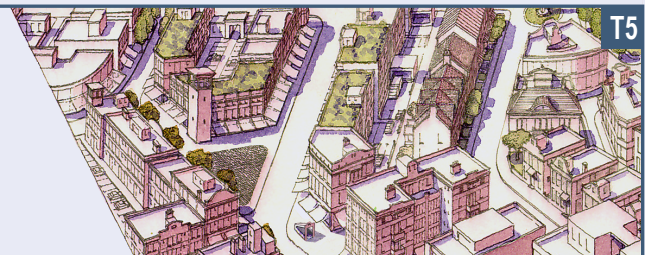
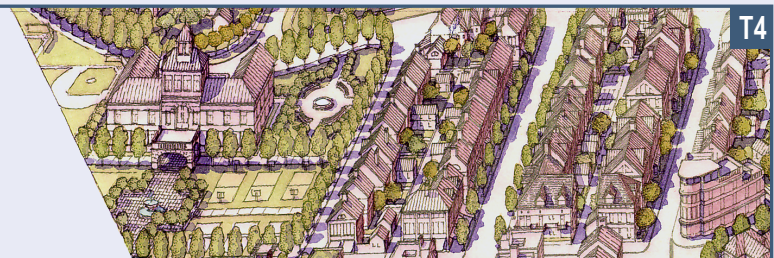
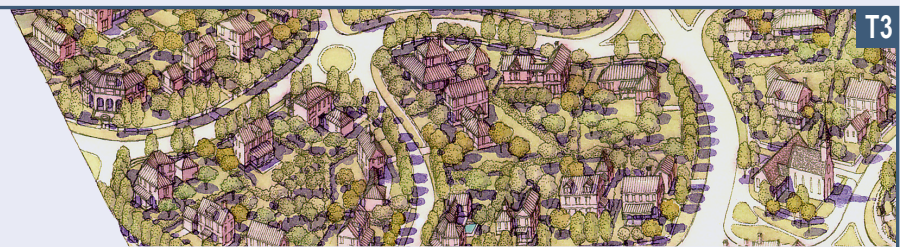
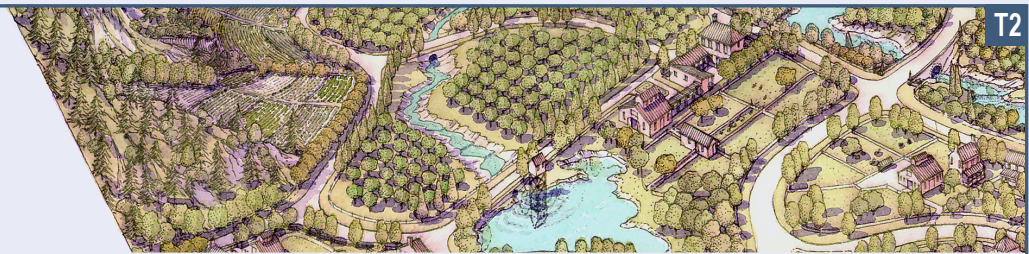
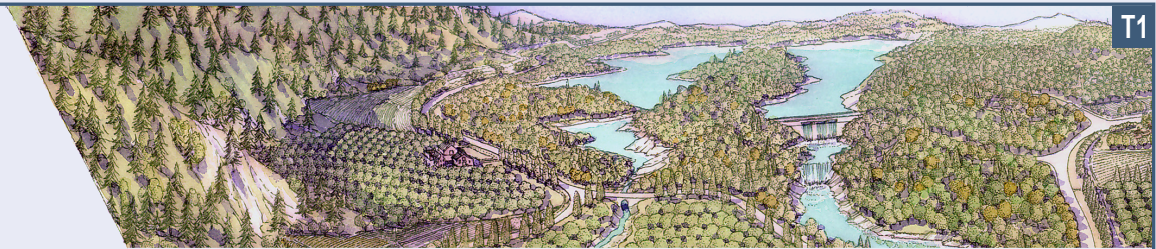


# LAKE CHARLES SMARTCODE



*Unified Development Code for Downtown Lake Charles, LA*



# LAKE CHARLES SMARTCODE

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## **ARTICLE 1. GENERAL**

### **1.1 Authority**

- 1.1.1 The action of the Lake Charles, Louisiana, in the adoption of this Code as an overlay district is authorized under:
  - (a) The Constitution of the State of Louisiana;
  - (b) Louisiana law; and
  - (c) The Charter of the City of Lake Charles and the Zoning Ordinance of the City of Lake Charles, Louisiana, Section 1-101 et seq., as amended.
- 1.1.2 This Code was adopted by and amended by vote of the City Council of Lake Charles, Louisiana (the "City Council").
- 1.1.3 This Code was adopted to promote the health, safety and general welfare of the City of Lake Charles, Louisiana and its citizens by enabling the purposes set forth in Section 1.2 of this Code.

### **1.2 Purpose**

The purpose of this Code is to enable, encourage and qualify the implementation of the following policies:

- 1.2.1 The Region
  - a. That the region should retain its natural infrastructure and visual character derived from topography, woodlands, farmlands, riparian corridors and coastlines.
  - b. That growth strategies should encourage Infill and redevelopment in parity with new communities.
  - c. That development contiguous to urban areas should be structured in the Neighborhood pattern and be integrated with the existing urban pattern.
  - d. That development non-contiguous to urban areas should be organized in the pattern of clusters, traditional Neighborhoods or Villages, and Regional Centers.
  - e. That affordable housing should be distributed throughout the region to match job opportunities and to avoid concentrations of poverty.
  - f. That transportation corridors should be planned and reserved in coordination with land use.
  - g. That green corridors should be used to define and connect the urbanized areas.
  - h. That the region should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.
- 1.2.2 The Community
  - a. That Neighborhoods and Regional Centers should be compact, pedestrian-oriented and mixed-use.

- b. That Neighborhoods and Regional Centers should be the preferred pattern of development and that districts specializing in single-use should be the exception.
- c. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- d. That interconnected networks of Thoroughfares should be designed to disperse and reduce the length of automobile trips.
- e. That within Neighborhoods, a range of housing Types and price levels should be provided to accommodate diverse ages and incomes.
- f. That appropriate building Densities and land uses should be provided within walking distance of transit stops.
- g. That Civic, institutional, and Commercial activity should be embedded in Downtowns, not isolated in remote single-use complexes.
- h. That schools should be sized and located to enable children to walk or bicycle to them.
- i. That a range of open space including parks, squares, and playgrounds should be distributed within Neighborhoods and urban center zones.

#### 1.2.3 The Block and the Building

- a. That buildings and landscaping should contribute to the physical definition of Thoroughfares as Civic places.
- b. That development should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public space.
- c. That the design of streets and buildings should reinforce safe environments, but not at the expense of accessibility.
- d. That architecture and landscape design should grow from local climate, topography, history, and building practice.
- e. That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
- f. That Civic Buildings and public gathering places should be provided locations that reinforce community identity and support self-government.
- g. That Civic Buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- h. That the preservation and renewal of historic buildings should be facilitated to affirm the continuity and evolution of society.
- i. That the harmonious and orderly evolution of urban areas should be secured through graphic codes that serve as guides for change.

### 1.3 **Applicability**

- 1.3.1 Provisions of this Code are activated by "shall" when required; "should" when recommended; and "may" when optional.

- 1.3.2 The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except the existing City of Lake Charles Fire/Life Safety and Building, Construction, and Occupancy Codes (the "Local Health and Safety Codes").
- 1.3.3 The existing City of Lake Charles Zoning Ordinance and development regulations (the "existing local development codes") shall continue to be applicable to applications not covered by this code.
- 1.3.4 Terms used throughout this Code shall be afforded their commonly accepted meanings except when defined in Articles 1—3 or in the Article 4, Definitions of Terms. In the event of conflicts between the definitions in this Code and those of the existing local development codes, the definitions of this Code shall take precedence.
- 1.3.5 The Article 4, Definitions of Terms, contains regulatory language that is integral to this Code. Capitalized Terms in this Code may refer to definitions in Articles 1—3 or to Article 4, Definitions of Terms.

#### **1.4 Process**

- 1.4.1 [Reserved]
- 1.4.2 [Reserved]
- 1.4.3 The Department of Planning and Economic Development (the "Planning Office") shall include the Lake Charles Downtown Development Authority (DDA) as designated by Ordinance No. 11646. The DDA shall expedite the permitting process by providing a single interface between the developer and the City of Lake Charles.
- 1.4.4 An owner or developer may appeal a decision of the DDA to the Planning Commission and may appeal a decision of the Planning Commission to the City Council.
- 1.4.5 Should a violation of an approved plan occur during construction, the Director of the Planning Office has the right to require the owner or developer to stop, remove, and/or mitigate the violation, or to require the owner or developer to secure a Variance to cover the violation.
- 1.4.6 Upon approval by the DDA, a Building Scale Plan shall, upon a written request being submitted to the DDA by the owner or developer or their agent, be placed on the next available agenda for final plat approval by the Planning Commission.

#### **1.5 Warrants and Variances**

- 1.5.1 There shall be two levels of deviation from the requirements of this Code: Warrants and Variances. Whether a deviation requires a Warrant or a Variance shall be determined pursuant regulations promulgated by the DDA.
- 1.5.2 A Warrant is a ruling that would permit a practice that is not consistent with a specific provision of this Code but is justified by the provisions of Purpose Section 1.2. The DDA shall have the authority to administratively to approve or disapprove a request for a Warrant pursuant to regulations promulgated by the DDA.
- 1.5.3 A Variance is any ruling on a deviation other than a Warrant. Variances *shall* be granted only in accordance with the procedures set out in Existing Local Development Codes.

- 1.5.4 The request for a Variance shall not subject the entire application to the procedures set forth in the Existing Local Development Codes, but only that portion necessary to rule on the specific issue under consideration for a Variance.
- 1.5.5 [Reserved]
- 1.5.6 The following standards and requirements shall not be available for Warrants or Variances:
- a. The allocation ratios of each Transect Zone.
  - b. The maximum dimensions of traffic lanes.
  - c. The required provision of Alleys and Rear Lanes.
  - d. The minimum Residential Densities.
  - e. The permission to build ancillary apartments.
  - f. The requirements of parking location.

## **1.6 Incentives**

- 1.6.1 To encourage the use of this Code, the following incentives are hereby granted to the extent not prohibited by or in conflict with applicable law:
- a. Applications under this Code shall be processed administratively rather than through public hearing.
  - b. Applications under this Code shall be processed with priority over others under the Existing Local Development Codes with prior filing dates.

## **ARTICLE 2. LOTS AND BUILDINGS**

### **2.1 Instructions**

- 2.1.1 Lots and buildings located within a Community Plan subject to this Code shall be subject to the requirements of this Article.
- 2.1.2 An owner or a developer may have site and building plans prepared on their behalf.
- 2.1.3 Owners and developers require administrative approval by the DDA.
- 2.1.4 The requirements described in this Article shall control the Site, Disposition, Configuration and Function of buildings, as well as their architectural, landscape, parking, and signage standards.
- 2.1.5 Applications submitted under this Article shall show the following, in compliance with the standards described in this Article:
- a. For preliminary site development and building approval;
    - Site
    - Building Disposition
    - Building Configuration
    - Building Function

- Parking Standards

b. For final approval, in addition to the above:

- architectural standards
- landscape standards
- signage standards
- Special Requirements (see Section 2.8)

2.1.6 Demolition or relocation. A design review is required, and a review shall be completed by the Downtown Development Authority (DDA). The demolition or relocation of a historic structure is strongly discouraged and is only considered as a last resort. The Director of Downtown Development shall not forward the application to the DDA until it is complete.

(a) *Required information.* The following information must be supplied by the applicant before the application is considered complete:

- (i) Information describing the condition of the structure;
- (ii) Estimated cost of restoration or repair;
- (iii) Demonstration that the adaptive use or restoration of the structure has been seriously considered;
- (iv) Any available historic records of the building (drawings, photographs);
- (v) Architectural drawings for any proposed new constructions which are intended to replace the structure;
- (vi) Demonstration that the applicant has made a serious attempt for six months to sell the structure, at market value through a multiple listing agency, to an individual or group who would restore the property on site; and
- (vii) Any other information the staff finds appropriate for the Downtown Development Authority to render a decision on the application.

(b) *Standards for relocation.* A decision by the Downtown Development Authority approving or denying a Design Review for the relocation of a building, structure, or object shall be guided by:

- (i) Whether the structure is endangered in its original location. Relocation should not be considered without meeting this first standard;
- (ii) The historic character and aesthetic interest the building, structure, or object contributes to its present setting;
- (iii) Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be;
- (iv) Whether the building, structure or object can be moved without significant damage to its physical integrity; and
- (v) Whether the proposed relocation area is compatible with the historical and architectural character of the building, structure, site or object.



(c) *Standards for demolition permit.* A decision by the Downtown Development Authority approving or denying a Design review for the demolition of buildings, structures, sites, trees or objects shall be guided by:

- (i) The historic, scenic or architectural significance of the building, structure, site or trees or object;
- (ii) The importance of the building, structure, site, tree or object to the ambiance of a district;
- (iii) The difficulty or the impossibility of reproducing such a building, structure, site, tree, or object because of its design, texture, material, detail, or unique location;
- (iv) Whether the building, structure, site, tree, or object is one of the last remaining examples of its kind in the neighborhood or the city;
- (v) Whether there are definite plans for use of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be;
- (vi) Whether reasonable measures can be taken to save the building, structure, site, tree, or object from collapse; and
- (vii) Whether the building, structure, site, tree, or object is capable of earning reasonable economic return on its value.

(d) No design review for demolition shall be issued unless the applicant has demonstrated that:

- (i) It is not economically feasible to maintain the structure;
- (ii) The applicant has explored preservation options, such as the sale of the structure to an individual or group interested in preserving the structure;
- (iii) The applicant has posted on the premises of the structure, in a manner easily visible from the public way, notice of intended demolition for a period of six months prior to application for a Design Review;

(e) *Emergency.* Notwithstanding any other provisions of this section, where the building official determines that demolition or alteration of a structure is necessary to correct a condition that is dangerous to life, health or safety, a conditional use permit may be issued under the signatures of the building official, director of planning, and the mayor.

(f) *Demolition by Neglect.* No owner or person with an interest in real property designated as a landmark or included within the downtown lakefront development district shall permit the property to fall into a serious state of disrepair so as to result in the deterioration of any exterior architectural feature which would, in the judgment of the Downtown Development Authority, produce a detrimental effect upon the character of the district as a whole or the life and character of the property itself.

Examples of such deterioration include:

- Deterioration of exterior walls or other vertical supports.
- Deterioration of roof or other horizontal members.
- Deterioration of exterior chimneys.

- Deterioration or crumbling of exterior stucco or mortar.
- Ineffective waterproofing of exterior walls, roof, or foundation, including broken windows or doors.
- Deterioration of any feature so as to create a hazardous condition which could lead to the claim that demolition is necessary for the public safety. Demolition by neglect will bar a property owner from raising an economic hardship claim.

(g) *Limitations on approval of a Design Review.* Within one year of the issuance of a Design Review, or such shorter time as may be established by an approved development schedule, if any, construction shall commence in accordance with the approved Design Review. Failure to commence construction within that period shall, unless a prior extension shall have been granted by the commission, automatically render the Design Review null and void.

(h) *Enforcement.* All work performed pursuant to a Design Review issued under this Ordinance shall conform to any requirements included therein. It shall be the duty of the building inspector to inspect periodically any such work to assure compliance. In the event work is not being performed in accordance with the Design Review or upon notification of such fact by the DDA and verification by the Building Officer, then the building inspector or building officer shall issue a stop work order and all work shall immediately cease. No further work shall be undertaken on the project as long as a stop work is in effect.

(i) The Downtown Development Authority and the Lake Charles City Council shall be authorized to institute any appropriate action or proceeding in a court of competent jurisdiction to prevent any material change in appearance of a property within the designated district, except those changes made in compliance with the provisions of the ordinance or to prevent any illegal act or conduct with respect to such property and district.

(j) *Penalties.* Work begun or completed without a Design Review can lead to the reversal of any unapproved alterations, permit delays and fines. Failure to comply with any of the provisions of this Ordinance shall be deemed a violation and the violator shall be punishable by fine of not less than \$10.00 or more than \$25.00 for each and every day that such violation continues.

## **2.2 Zone Designations for Regulating Plan**

- 2.2.1 The legend on the map set forth below (See Section 2.2.2) illustrates the zone and other applicable designations for the regulating plan for the Lakefront Downtown Development District.
- 2.2.2 Map of Zone and other designations for the Lakefront Downtown Development District.

## **2.3 Specific to Sub-Urban Transect Zone (T3)**

- 2.3.1 Building Disposition (T3)
  - a. Newly platted lots shall be dimensioned according to Section 2.3.8.
  - b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 2.3.8.

c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 10C.

d. Lot coverage by building shall not exceed that shown in Section 2.3.8.

e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.

f. Setbacks for Principal Buildings shall be as shown in Section 2.3.8. Setbacks may be adjusted by Warrant.

g. Rear Setbacks for Outbuildings shall be a minimum of 15 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 2.3.8

h. Building Types shall be as shown in Table 2.

i. (Reserved)

j. (Reserved)

#### 2.3.2 Building Configuration (T3)

a. Private Frontage types shall conform to and be allocated in accordance with Table 4 and Section 2.3.8.

b. (Reserved)

c. (Reserved)

d. Building Heights shall be as shown in Section 2.3.8.

e. (Reserved)

f. All specified Building Heights may be increased by the difference between the actual Lot elevation and the base elevations required by applicable FEMA standards, provided that any first level space shall be designed for use as (i) parking or storage space set into the structure into the second and deeper Layers, concealed from view of all streets, or (ii) a loggia or porch or combination thereof, or other open-air area for recreation, relaxation or gathering.

#### 2.3.3 Building Function and Density (T3)

a. Buildings in each Transect Zone shall conform to the Functions described in Tables 5 or 7 and Section 2.3.8.

b. (Reserved)

#### 2.3.4 Parking Standards (T3)

a. Vehicular parking shall be required and adjusted for mixed-use as shown in Tables 5 and 6.

b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.

c. Maximum parking ratios may be established by the DDA.

d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.

e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 2.3.5b.

f. Open parking areas shall be located at the Second and Third Lot Layers, as shown in Table 10D, except that Driveway aprons and drop-offs may be located at the First Layer. Garages shall be located at the Third Layer.

g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.

h. (Reserved)

i. (Reserved)

j. (Reserved)

#### 2.3.5 Architectural Standards (T3)

a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.

b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.

c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

d. Openings above the first Story shall not exceed 50 per cent of the total building wall area, with each Facade being calculated independently.

e. (Reserved)

f. Doors and windows that operate as sliders are prohibited along Frontages.

g. Buildings shall have pitched roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.

h. The exterior finish material on all Facades shall be limited to brick, wood siding, cementitious siding and/or stucco.

i. Balconies and porches shall be made of painted wood.

j. Fences, if provided at the First Layer shall be painted. Fences at the Third Layer may be of wood board or chain link.

#### 2.3.6 Landscape Standards (T3)

a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Tables 10D.

b. (Reserved)

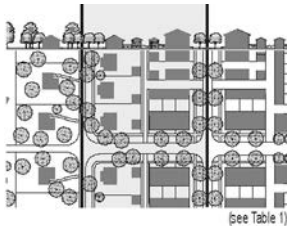
c. (Reserved)

d. Trees shall be of various species, naturalistically clustered, as well as an understory stall below for maintenance. Lawn shall be permitted by Warrant.

### 2.3.7 Signage Standards (T3)

- a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
- b. One blade sign for each business may be permanently installed perpendicular to the Facade. Each shall not exceed 4 square feet.
- c. (Reserved)
- d. There shall be no signage permitted additional to that specified in this section.
- e. Signage shall not be lit.

### 2.3.8 [Tables]



Building Function (see Tables 5 and 7)	
a. Residential	restricted use
b. Lodging	restricted use
c. Office	restricted use
d. Retail	restricted use
Building Height (see Table 3)	
a. Principal Building	2 stories max
b. Outbuilding	2 stories max
Lot Occupation	
a. Lot width	60ft. min 120ft. max
b. Lot Coverage	60% max
Building Type (see Table 2)	
a. Edgeward	permitted
b. Sideyard	prohibited
c. Rearyard	prohibited
d. Courtyard	prohibited
Building Disposition	
a. Front Setback	24ft. min.
b. Side Setback	12ft. min.
c. Rear Setback	12ft. min.
d. Frontage Buildout	50% min. at setback
Outbuilding Disposition	
a. Front Setback	20ft. min.
b. Side Setback	3ft. or 6ft.
c. Rear Setback	3ft.* or 23ft.

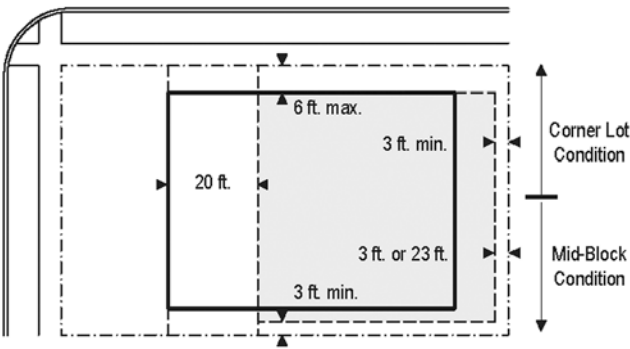
Private Frontages (see Table 4)	
a. Common Lawn	permitted
b. Porch and Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	prohibited
f. Shopfront and Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited
Parking Provisions (see Tables 5 and 6)	
*or 15ft. from center line of alley	

Graphics are illustrative only. Please refer to actual metrics for setback and height information.

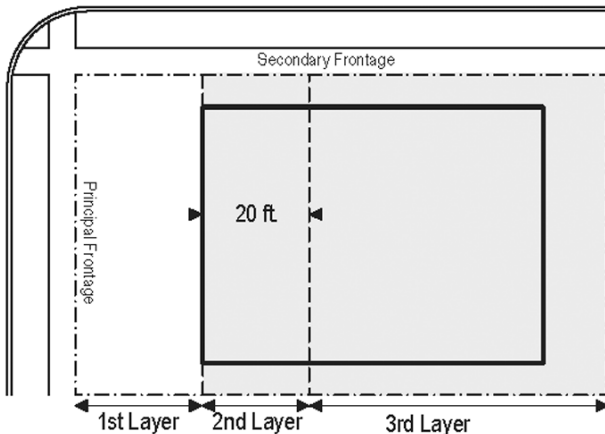
"N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Building Height		
1.	Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.	
2.	Each story shall not exceed 14 feet clear, floor to ceiling.	
3.	Maximum height shall be measured to the eave or roof deck.	

Building Disposition		
1.	The facades and elevations of principal buildings shall be distanced from the lot lines as shown.	
2.	Facades shall be built along the principal frontage to a minimum of 50 cent of its width.	

Outbuilding Disposition	
1.	<p>The elevation of the out buildings shall be distanced from the lot lines as shown.</p> 

Parking Placement	
1.	Uncovered parking spaces may be provided within the 2nd and 3rd Layer as shown in the diagram (see Table 10D).
2.	Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 10D).
3.	Trash containers shall be stored within the 3rd Layer.



## 2.4 Specific to General Urban Transect Zones (T4)

### 2.4.1 Building Disposition (T4)

- Newly platted lots shall be dimensioned according to Section 2.4.8.
- Buildings shall be disposed in relation to the boundaries of their lots according to Section 2.4.8.
- One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 10C.
- Lot coverage by building shall not exceed that shown in Section 2.4.8.
- Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.

f. Setbacks for Principal Buildings shall be as shown in Section 2.4.8. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.

g. Rear Setbacks for Outbuildings shall be a minimum of 15 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 2.4.8.

h. Building Types shall be as shown in Table 2.

i. A minimum Residential housing mix of three Types (none less than 20 per cent) shall be required in the General Urban Zone, selected from Table 2.

j. (Reserved)

#### 2.4.2 Building Configuration (T4)

a. Private Frontage types shall conform to and be allocated in accordance with Table 4 and Section 2.4.8.

b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100 per cent of the depth of a Setback. Open porches and awnings may encroach up to 50 per cent of the depth of the Setback. Balconies and bay windows may encroach up to 25 per cent of the depth of the Setback.

c. Loading docks and service areas shall be permitted on Frontages only by Warrant.

d. Building Heights shall be as shown in Section 2.4.8.

e. (Reserved)

f. All specified Building Heights may be increased by the difference between the actual Lot elevation and the base elevations required by applicable FEMA standards, provided that any first level space shall be designed for use as (i) parking or storage space set into the structure into the second and deeper Layers, concealed from view of all streets, (ii) an open market, a loggia or porch or combination thereof, or other open-air area for recreation, relaxation or gathering, (iii) enclosed commercial or retail space to the extent permitted by applicable FEMA requirements, or other use permitted by the Planning Office.

#### 2.4.3 Building Function and Density (T4)

a. Buildings in each Transect Zone shall conform to the Functions described in Tables 5 or 7 and Section 2.4.8.

b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an Outbuilding.

#### 2.4.4 Parking Standards (T4)

a. Vehicular parking shall be required as shown in Tables 5 and 6.

b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.

c. Maximum Parking ratios may be established by the CRC.



- d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 2.4.5b.
- f. All parking areas except for Driveways shall be located at the Third Layer as illustrated in Table 10D. Garages shall be at the Third Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.
- h. (Reserved)
- i. (Reserved)
- j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.

#### 2.4.5 Architectural Standards (T4)

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- d. Openings above the first Story shall not exceed 50 per cent of the total building wall area, with each Facade being calculated independently.
- e. (Reserved)
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Buildings shall have pitched roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
- h. The exterior finish materials on all Facades shall be limited to brick, clapboard, siding, cementitious siding and/or stucco.
- i. Balconies and porches shall be made of painted wood or metal.
- j. Fences, if provided within the First Lot Layer, shall be painted. Fences at other Layers may be of wood board or chain link.

#### 2.4.6 Landscape Standards (T4)

- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 10D.
- b. (Reserved)
- c. (Reserved)

d. Trees of species matching the planting on the Public Frontage. Lawn shall be permitted.

#### 2.4.7 Signage Standards (T4)

a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.

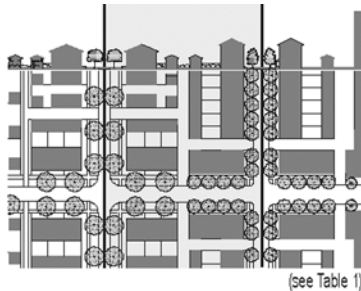
b. One blade sign for each business may be permanently installed perpendicular to the Facade. Each shall not exceed four square feet.

c. (Reserved)

d. There shall be no signage permitted additional to that specified in this section.

#### 2.4.8 Reserved

#### 2.4.9 [Tables]



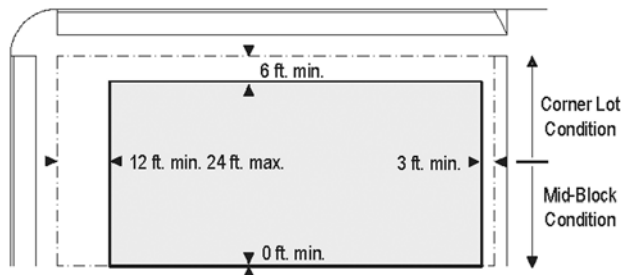
Building Function (see Tables 5 and 7)	
a. Residential	limited use
b. Lodging	limited use
c. Office	limited use
d. Retail	limited use
Building Height (see Table 3)	
a. Principal Building	4 stories max 2 min
b. Outbuilding	2 stories max
Lot Occupation	
a. Lot width	18ft. min 72ft. max
b. Lot Coverage	70% max
Building Type (see Table 7)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	Permitted
Building Disposition	
a. Front Setback	6ft. min. 18ft. max.
b. Side Setback	0ft. combined min.

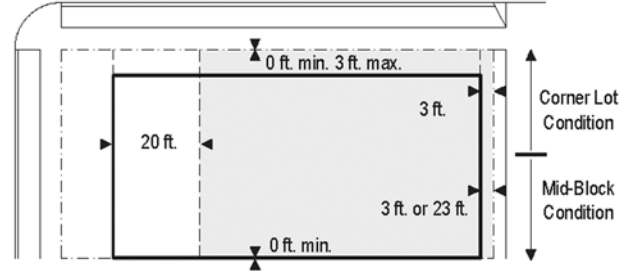
c. Rear Setback	3ft. min.*
d. Frontage Buildout	60% min. at setback
<b>Outbuilding Disposition</b>	
a. Front Setback	20ft. min. + bldg. setback
b. Side Setback	0ft. min. or 3ft.
c. Rear Setback	3ft.* or 23ft.
<b>Private Frontages (see Table 4)</b>	
a. Common Lawn	prohibited
b. Porch and Fence	permitted
c. Terrace or L.C.	Permitted
d. Forecourt	Permitted
e. Stoop	Permitted
f. Shopfront and Awning	Permitted
g. Gallery	Permitted
h. Arcade	Prohibited
<b>Parking Provisions (see Tables 5 and 6)</b>	
*or 15ft. from center line of alley	

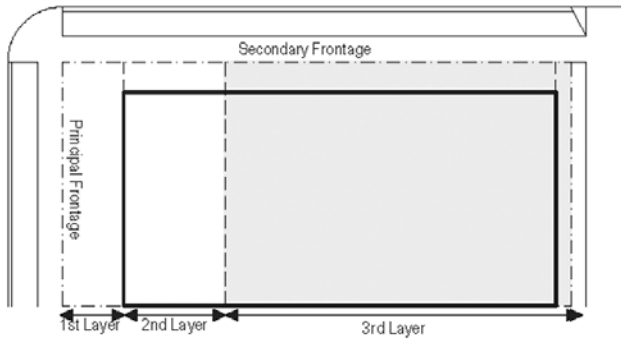
Graphics are illustrative only. Please refer to actual metrics for setback and height information.

"N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Building Height		
1.	Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.	
2.	Each story shall not exceed 14 feet clear, floor to ceiling.	
3.	Maximum height shall be measured to the eave or roof deck.	

Building Disposition		
1.	The facades and elevations of principal buildings shall be distanced from the lot lines as shown.	
2.	Facades shall be built along the principal frontage to a minimum of 60 per cent of its width.	

Outbuilding Placement		
1.	The elevations of the out buildings shall be distanced from the lot lines as shown.	

Parking Provisions		
1.	Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 10D).	
2.	Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 10D).	
3.	Trash containers shall be stored within the 3rd Layer.	

## **2.5 Specific to Urban Center Transect Zones (T5)**

### **2.5.1 Building Disposition (T5)**

- a. Newly platted lots shall be dimensioned according to Section 2.5.8.
- b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 2.5.8.
- c. One principal building at the Frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 10C.
- d. Lot coverage by building shall not exceed that shown in Section 2.5.8.
- e. Facades shall be built parallel to the Principal Frontage Line along a minimum of 70 per cent of its length on the Setback shown in Section 2.5.8. In the absence of a building along the remainder of the Frontage Line, a Streetscreen shall be built co-planar with the Facade.
- f. Setbacks for Principal Buildings shall be as shown in Section 2.5.8. Setbacks may be adjusted by Warrant.
- g. Rear Setbacks for Outbuildings shall be a minimum of 15 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 2.5.8.
- h. Building Types shall be as shown in Table 2.
- i. (Reserved)
- j. Buildings shall have their principal pedestrian entrances on a Frontage Line.

### **2.5.2 Building Configuration (T5)**

- a. Private Frontage types shall conform to and be allocated in accordance with Table 4 and Section 2.5.8.
- b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100 per cent of the depth of a Setback. Open porches and awnings may encroach up to 50 per cent of the depth of the Setback. Balconies and bay windows may encroach up to 25 per cent of the depth of the Setback.
- c. Loading docks and service areas shall be permitted on Frontages only by Warrant.
- d. Building Heights shall be as shown in Section 2.5.8.
- e. A first level Residential or Lodging Function shall be raised a minimum of 2 feet from average sidewalk grade.
- f. All specified Building Heights may be increased by the difference between the actual Lot elevation and the base elevations required by applicable FEMA standards, provided that any first level space shall be designed for use as (i) parking or storage space set into the structure into the second and deeper Layers, concealed from view of all streets, (ii) an open market, a loggia or porch or combination thereof, or other open-air area for recreation, relaxation or gathering, (iii) enclosed commercial or retail space to the extent permitted by applicable FEMA requirements, or other use permitted by the Planning Office.

2.5.3 Building Function and Density (T5)

- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 5 or 7 and Section 2.5.8. Functions that do not conform to the requirements of Tables 5 and 7 shall require approval by Warrant.
- b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.
- c. First story Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
- d. Manufacturing within the first Story may be permitted by Variance.

2.5.4 Parking Standards (T5)

- a. Vehicular parking shall be required as shown in Tables 5 and 6.
- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Maximum Parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane when such is available in the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 2.5.5b.
- f. All parking areas shall be located at the Third Lot Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.
- h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
- i. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
- j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.

2.5.5 Architectural Standards (T5)

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

- d. Openings above the first Story shall not exceed 50 per cent of the total building wall area, with each Facade being calculated independently.
- e. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70 per cent of the sidewalk-level story.
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Buildings may have flat roofs enclosed by parapets or pitched roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
- h. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco.
- i. Balconies, galleries and arcades shall be made of concrete, painted wood or metal.
- j. Streetscreens shall be located coplanar with the building Facade line as shown in Table 10D.

#### 2.5.6 Landscape Standards (T5)

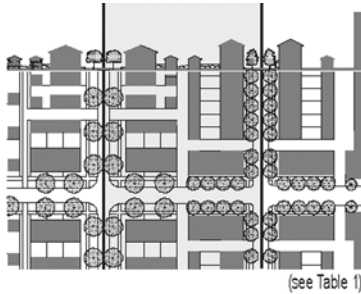
- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 10D.
- b. (Reserved)
- c. The First Layer as shown in Table 10D shall be landscaped or paved to match the enfronting Public Frontage.
- d. Trees shall be a species with shade canopies that, at maturity, remain clear of building Frontages.

#### 2.5.7 Signage Standards (T5)

- a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
- b. One blade sign for each business entrance may be permanently installed perpendicular to the Facade. Each shall not exceed six square feet.
- c. (Reserved)
- d. A single external sign band may be applied to the Facade of each building, providing that such sign not exceed three feet in height by any length.
- e. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.

#### 2.5.8 Reserved

## 2.5.9 [Tables]



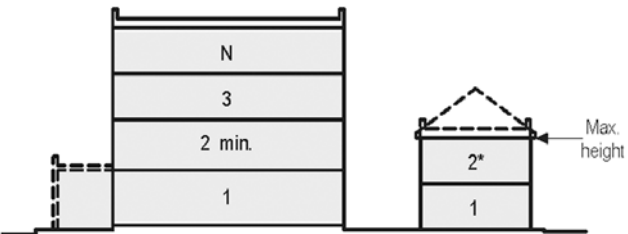
Building Function (see Tables 5 and 7)	
a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use
Building Height (see Table 3)	
a. Principal Building	6 stories max. 2 min.
b. Outbuilding	2 stories max
Lot Occupation	
a. Lot width	18ft. min 200ft. max
b. Lot Coverage	80% max
Building Type (see Table 2)	
a. Edgeyard	Prohibited
b. Sideyard	Permitted
c. Rearyard	Permitted
d. Courtyard	permitted
Building Disposition	
a. Front Setback	0ft. min. 12ft. max.
b. Side Setback	0ft. min. 24ft. max.
c. Rear Setback	3ft. min.*
d. Frontage Buildout	70% min. at setback
Outbuilding Disposition	
a. Front Setback	40ft. max. from rear prop.
b. Side Setback	0ft. min.*
c. Rear Setback	3ft. min.*
Private Frontages (see Table 4)	
a. Common Lawn	prohibited
b. Porch and Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted

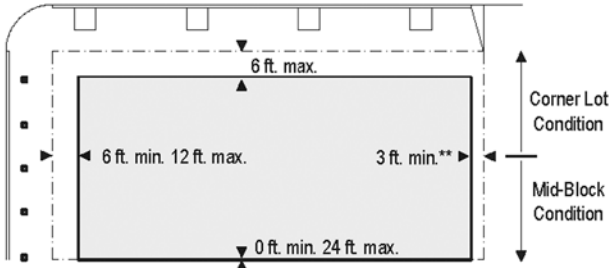


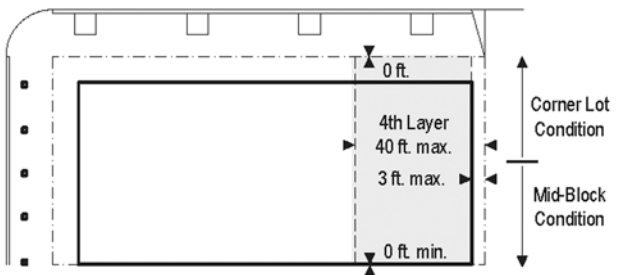
f. Shopfront and Awning	permitted
g. Gallery	permitted
h. Arcade	permitted
<b>Parking Provisions (see Tables 5 and 6)</b>	
*or 15ft. from center line of alley	

Graphics are illustrative only. Please refer to actual metrics for setback and height information.

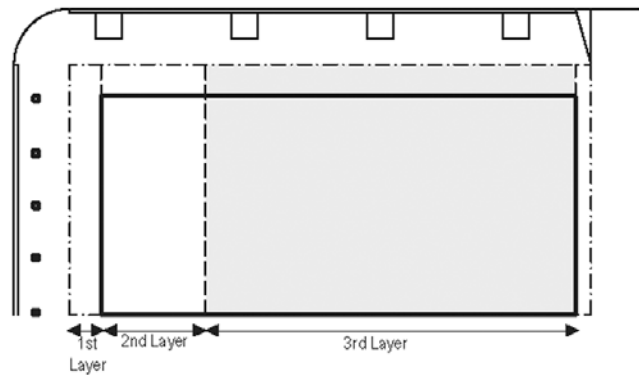
"N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Building Height	
1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.	
2. Each story shall not exceed 14 feet clear, floor to ceiling.	
3. Maximum height shall be measured to the eave or roof deck.	

Building Disposition	
1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.	
2. Facades shall be built along the principal frontage to a minimum of 70 per cent of its width.	

Outbuilding Disposition	
1.	<p>The elevations of the out buildings shall be distances from the lot lines as shown.</p> 

Parking Provisions	
1.	Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 10D).
2.	Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 10D).
3.	Trash containers shall be stored within the 3rd Layer as shown in the diagram (see Table 10D).



## 2.6 Specific to Urban Core Transect Zones (T6)

### 2.6.1 Building Disposition (T6)

- Newly platted lots shall be dimensioned according to Section 2.6.8.
- Buildings shall be disposed in relation to the boundaries of their lots according to Section 2.6.8.
- One principal building at the Frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 10C.
- Lot coverage by building shall not exceed that shown in Section 2.6.8.
- Facades shall be built parallel to the Principal Frontage Line along a minimum of 80 per cent of its length on the Setback shown in Section 2.6.8. In the absence of building along the remainder of the Frontage Line, a Streetscreen shall be built co-planar with the Facade.

f. Setbacks for Principal Buildings shall be as shown in Section 2.6.8. Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.

g. [Reserved]

h. Building Types shall be as shown in Table 2.

i. [Reserved]

j. Buildings shall have their principal pedestrian entrances on a Frontage Line.

#### 2.6.2 Building Configuration (T6)

a. Private Frontage types shall conform to and be allocated in accordance with Table 4 and Section 2.6.8.

b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100 per cent of the depth of a Setback. Open porches and awnings may encroach up to 50 per cent of the depth of the Setback. Balconies and bay windows may encroach up to 25 per cent of the depth of the Setback.

c. Loading docks and service areas shall be permitted on Frontages only by Warrant.

d. Building Heights shall be as shown in Section 2.6.8.

e. A first level Residential Function or Lodging Function shall be raised a minimum of 2 feet from average sidewalk grade.

f. All specified Building Heights may be increased by the difference between the actual Lot elevation and the base elevations required by applicable FEMA standards, provided that any first level space shall be designed for use as (i) parking or storage space set into the structure into the second and deeper Layers, concealed from view of all streets, (ii) an open market, a loggia or porch or combination thereof, or other open-air area for recreation, relaxation or gathering, (iii) enclosed commercial or retail space to the extent permitted by applicable FEMA requirements, or other use permitted by the Planning Office.

#### 2.6.3 Building Function and Density (T6)

a. Buildings in each Transect Zone shall conform to the Functions described in Tables 5 or 7 and Section 2.6.8. Functions that do not conform to the requirements of Tables 5 or 7 shall require approval by Variance.

b. The Actual Parking available to meet the Required Parking shown on Table 5 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 2.6.3c and 2.6.3d.

c. First story Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.

d. Manufacturing within the first story shall be permitted by Variance.

#### 2.6.4 Parking Standards (T6)

a. Vehicular parking shall be required as shown in Tables 5 and 6.

- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Maximum Parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 2.6.5b.
- f. All parking areas shall be located at the Third Lot Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Warrant.
- h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
- i. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
- j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Warrant.

#### 2.6.5 Architectural Standards (T6)

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- d. Openings above the first Story shall not exceed 50 per cent of the total building wall area, with each Facade being calculated independently.
- e. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70 per cent of the sidewalk-level story.
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Buildings may have flat roofs enclosed by parapets or pitched roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:15.
- h. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco.
- i. Balconies, galleries and arcades shall be made of concrete, painted wood or metal.

j. Streetscreens shall be located coplanar with the Facades as shown in Table 10C.

#### 2.6.6 Landscape Standards (T6)

a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 10D.

b. [Reserved]

c. The First Layer shall be landscaped or paved to match the Public Frontage as shown in Table 10D.

d. Trees shall be a species with shade canopies that, at maturity, remain clear of building Frontages.

e. Trees shall not be required in the First Layer (Table 10D).

#### 2.6.7 Signage Standards (T6)

a. One address number no more than six inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.

b. Blade signs, not to exceed six square feet for each separate business entrance, may be attached perpendicular to the Facade.

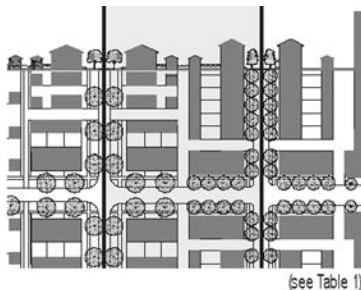
c. [Reserved]

d. A single external sign band may be applied to the Facade of each building, provided that such sign does not exceed three feet in height by any length.

e. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.

#### 2.6.8 Reserved

#### 2.6.9 [Tables]

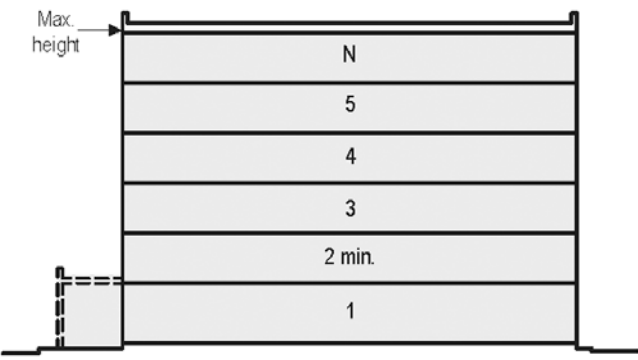


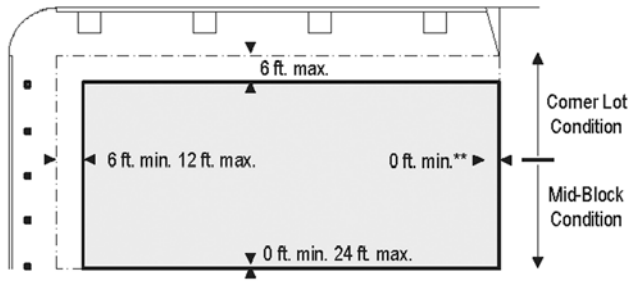
Building Function (see Tables 5 and 7)	
a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use
Building Height (see Table 3)	
a. Principal Building	8 stories max. 2 min.
b. Outbuilding	N/A

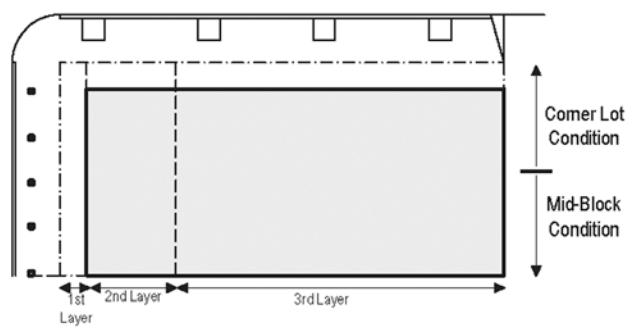
<b>Lot Occupation</b>	
a. Lot width	18ft. min 400ft. max
b. Lot Coverage	90% max
<b>Building Type (see Table 2)</b>	
a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted
<b>Building Setback</b>	
a. Front Setback	0ft. min. 12ft. max.
b. Side Setback	0ft. min. 24ft. max.
c. Rear Setback	3ft. min.*
d. Frontage Buildout	80% min. at setback
<b>Outbuilding Setback</b>	
a. Front	N/A
b. Side	N/A
c. Rear	N/A
<b>Private Frontages (see Table 4)</b>	
a. Common Lawn	prohibited
b. Porch and Fence	prohibited
c. Terrace or L.C.	prohibited
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront and Awning	permitted
g. Gallery	permitted
h. Arcade	permitted
<b>Parking Provisions (see Tables 5 and 6)</b>	
*or 15ft. from center line of alley	

Graphics are illustrative only. Please refer to actual metrics for setback and height information.

"N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Building Height		
1.	Building height shall be measured in number of stories, not including a raised basement, or inhabited attic.	
2.	Each story shall not exceed 14 feet clear, floor to ceiling.	
3.	Maximum height shall be measured to the eave or roof deck.	

Building Disposition		
1.	The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.	
2.	Facades shall be built along the principal frontage to a minimum of 80 per cent of its width.	

Parking Provisions		
1.	Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 10D).	
2.	Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 10D).	
3.	Trash containers shall be stored within the 3rd Layer as shown in the diagram (see Table 10D).	

## **2.7 Civic Functions**

### **2.7.1 General**

- a. Community Plans shall designate, or allow by Warrant or Variance, Civic Space (CS) and Civic Building (CB).
- b. (Reserved)
- c. Parking for Civic Functions shall be determined by Warrant.

### **2.7.2 Civic Space (CS)**

- a. Civic Spaces may be approved by Warrant in any Transect Zone.
- b. Civic Spaces shall be generally designed as described in Table 8.

### **2.7.3 Civic Building (CB)**

- a. Civic Buildings shall be approved by Warrant or Variance in any Transect Zone, on sites reserved for them.
- b. Civic Buildings shall not be subject to the Requirements of the Building Scale Code. The particulars of their design shall be determined by Variance.

## **2.8 Special Requirements**

### **2.8.1 A Community Plan may designate the following special requirements:**



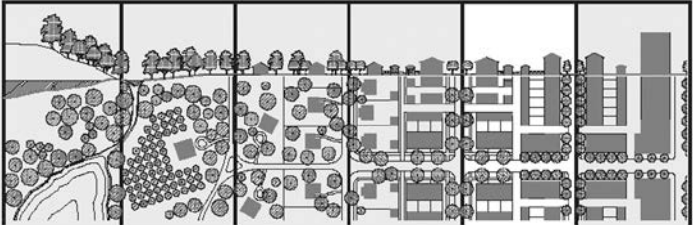

- a. A differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30 per cent of the total length within a Pedestrian Shed.
- b. A designation for Mandatory or Recommended Retail Frontage requiring that a building provide a Shopfront at sidewalk level along the entire length of the Frontage. The Shopfront shall be no less than 70 per cent glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 4. The first floor shall be confined to Retail use through the depth of the First Layer.
- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 4.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.



- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
- g. A designation of Buildings of Value, requiring that such buildings and structures may be altered or demolished only when in accordance with the historic preservation regulations of the City of Lake Charles.


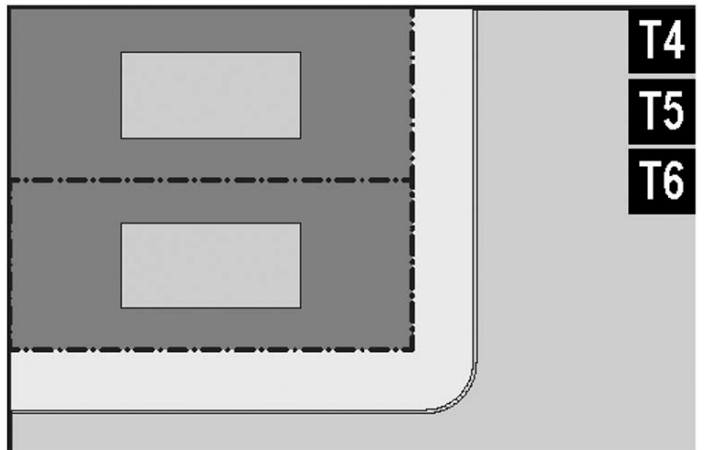
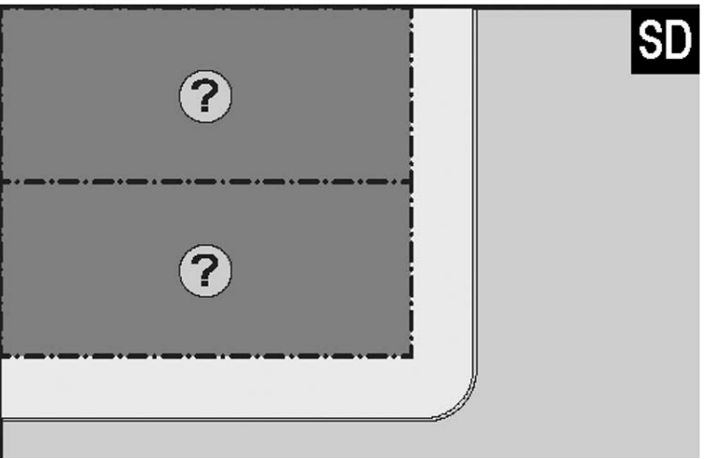
**ARTICLE 3. STANDARDS AND TABLES**

**Table 1: Transect Zone Descriptions.** This table provides description of the character of each Transect Zone.

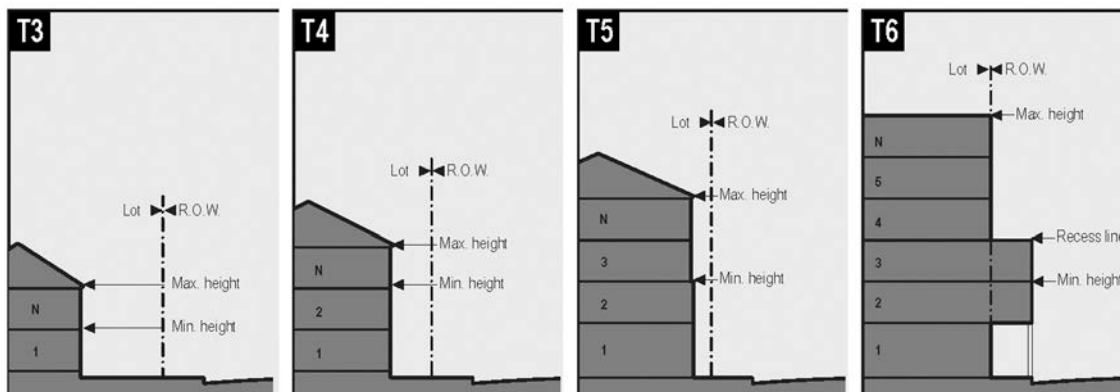
<p><b>T3</b> <i>The Sub-Urban Zone</i>, consists of low density suburban residential areas, differing by allowing home occupations. Planting is naturalistic with setbacks relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	
<p><b>T4</b> <i>The General Urban Zone</i> consists of a mixed-use but primarily residential urban fabric. It has a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets typically define medium-sized blocks.</p>	
<p><b>T5</b> <i>The Urban Center Zone</i> consists of higher density mixed-use building types that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the frontages.</p>	
<p><b>T6</b> <i>The Urban Core Zone</i> consists of the highest density, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the frontages.</p>	

**Table 2: Building Types.** This table approximates the location of the structure relative to the boundaries of each individual lot, establishing suitable building types for each Transect Zone.

a.	<p><b>Edgeyard:</b> Specific Types - Single family House, Cottage, Villa, Estate House, Urban Villa. A building that occupies the center of its lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	
b.	<p><b>Sideyard:</b> Specific Types - Charleston Single House, zero-lot-line house. A building that occupies one side of the lot with the Setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. A shallow frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze.</p>	

c.	<p><b>Rearyard:</b> Specific Types - Townhouse, Rowhouse, Live-Work unit, perimeter block. A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	
d.	<p><b>Courtyard:</b> Specific Types - Patio House. A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	
e.	<p><b>Specialized:</b> A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic Buildings, which may express the aspirations of institutions, may be included.</p>	

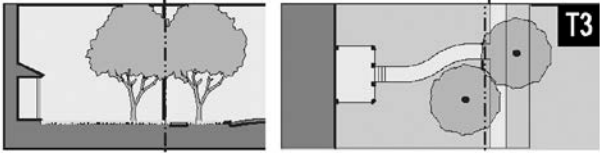
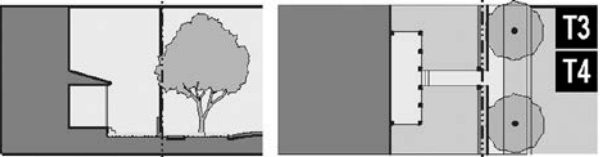


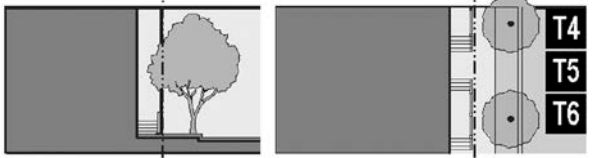
**Table 3: Building Configuration.** This table shows prescribed building heights for each Transect Zone. The vertical extent of a building is measured by number of stories, not including a raised basement or an inhabited attic. Heights are measured from the average grade of the frontage line to the eave of a pitched roof or to the surface of a flat roof. The term "tower" here refers to an attached or detached addition to a building, not to an entire building.

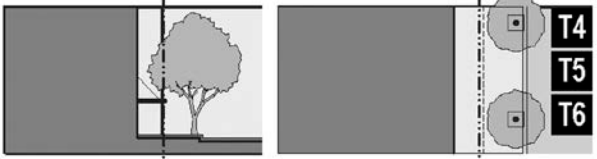




Note- "N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Note- "N" stands for any stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

**Table 4: Private Frontages.** The Private Frontage is the area between the building and the lot lines.

a.	<p><b>Common Yard:</b> a frontage wherein the Facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>	
b.	<p><b>Porch and Fence:</b> a frontage wherein the Facade is set back from the frontage line with an attached porch permitted to encroach. A fence at the Frontage Line maintains the demarcation of the yard. The porches shall be no less than 8 feet deep.</p>	
c.	<p><b>Terrace or Light Court:</b> a frontage wherein the Facade is set back from the Frontage Line by an elevated terrace or a sunken light court. This type buffers Residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.</p>	
d.	<p><b>Forecourt:</b> a frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.</p>	
e.	<p><b>Stoop:</b> a frontage wherein the Facade is aligned close to the Frontage Line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>	

f.	<p><b>Shopfront and Awning:</b> a frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible.</p>	
g.	<p><b>Gallery:</b> a frontage wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for Retail use. The gallery shall be no less than 10 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the Curb.</p>	
h.	<p><b>Arcade:</b> a frontage wherein the Facade is a colonnade that overlaps the sidewalk, while the Facade at sidewalk level remains at the Frontage Line. This type is conventional for Retail use. The arcade shall be no less than 12 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>	

**Table 5: Building Function—General.** This table categorizes building functions within Transect Zones. For greater precision describing the functions, see Table 7.

		<b>T3</b>	<b>T4</b>	<b>T5 T6</b>
a.	<b>Residential</b>	<b><i>Restricted Residential:</i></b> The number of dwellings on each lot is restricted to one within a principal building and one within an ancillary building, with 2.0 parking places for each. Both dwellings shall be under single ownership. The habitable area of the ancillary dwelling shall not exceed 500 square feet.	<b><i>Limited Residential:</i></b> The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 6).	<b><i>Open Residential:</i></b> The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 6).
b.	<b>Lodging</b>	<b><i>Restricted Lodging:</i></b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m.	<b><i>Limited Lodging:</i></b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	<b><i>Open Lodging:</i></b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times.
c.	<b>Office</b>	<b><i>Restricted Office:</i></b> The building area available for office use on each lot is restricted to the first story of the principal or the ancillary building and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	<b><i>Limited Office:</i></b> The building area available for office use on each lot is limited to the first story of the principal building and/or to the ancillary building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	<b><i>Open Office:</i></b> The building area available for office use on each lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.

d.	<b>Retail</b>	<p><b>Restricted Retail:</b> The building area available for retail use is restricted to one block corner location at the first story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling.</p> <p>This specific use shall be further limited to neighborhood store or food service seating of no more than 20.</p>	<p><b>Limited Retail:</b> The building area available for retail use is limited to the first story of buildings at corner locations, not more than one per block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling.</p> <p>The specific use shall be further limited to neighborhood store, or food service seating no more than 40.</p>	<p><b>Open Retail:</b> The building area available for retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net retail space.</p>
e.	<b>Civic</b>	See Table 7	See Table 7	See Table 7
f.	<b>Other</b>	See Table 7	See Table 7	See Table 7

**Table 6: Parking Calculation.** The Required Parking table summarizes the parking requirements of Table 5 for each site or, conversely, the amount of building allowed on each site given the parking available.

	Required Parking (See table 5)		
	T3	T4	T5 T6
Residential	2.0/ dwelling	1.5/ dwelling	1.0/ dwelling
Lodging	1.0/ bedroom	1.0/ bedroom	1.0/ bedroom
Office	3.0/ 1000 sq. ft.	3.0/ 1000 sq. ft.	2.0/ 1000 sq. ft.
Retail	4.0/ 1000 sq. ft.	4.0/ 1000 sq. ft.	3.0/ 1000 sq. ft.
Civic	To be determined by Warrant		
Other	To be determined by Warrant		

SHARING FACTOR

Function

with

Function

RESIDENTIAL

RESIDENTIAL

LODGING

LODGING

OFFICE

OFFICE

RETAIL

RETAIL

12

13

12

13

14

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**Table 7: Specific Function.** This table expands the Building Function categories of Table 5 to delegate specific functions within Transect Zones. Table 7 should be customized for local character and requirements.

	T3	T4	T5	T6	SD
<b>a. Residential</b>					
Apartment Building		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Row House		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Duplex House		<input type="checkbox"/>	<input type="checkbox"/>		
Sideyard House	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Cottage	<input type="checkbox"/>	<input type="checkbox"/>			
House	<input type="checkbox"/>	<input type="checkbox"/>			
Estate House					
Accessory Unit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Manufactured House	X				X
Temporary Tent	X	X	X	X	X
Live-Work Unit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
<b>b. Lodging</b>					
Hotel (no room limit)			<input type="checkbox"/>	<input type="checkbox"/>	X
Inn (up to 12 rooms)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Inn (up to 5 rooms)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
S.R.O. hostel	X	X	X	X	X
School Dormitory		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>c. Office</b>					
Office Building		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
Work-Live Unit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
<b>d. Retail</b>					
Open-Market Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retail Building		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
Display Gallery		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
Restaurant		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
Kiosk		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

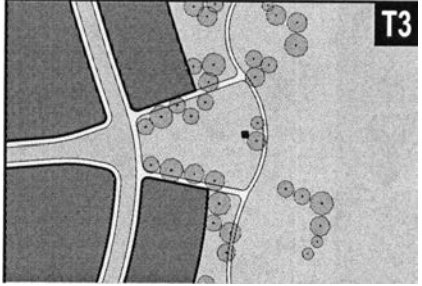
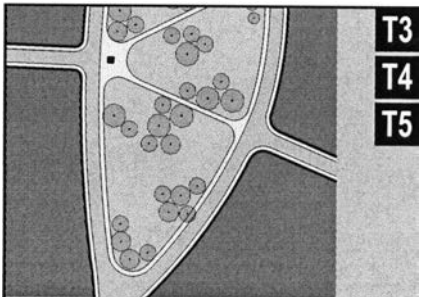
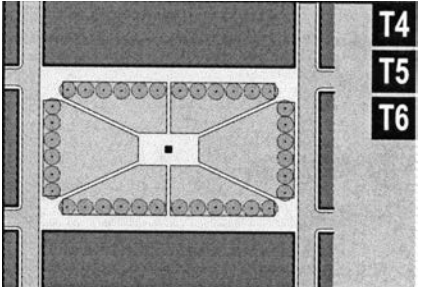
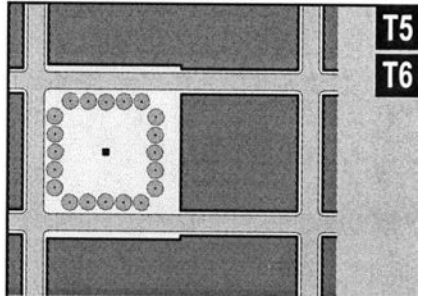
Push Cart			X	X	X
Liquor Selling Establishment			X	X	X
Adult Entertainment				X	X
<b>e. Civic</b>					
Bus Shelter	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Convention Center				X	<input type="checkbox"/>
Conference Center			X	<input type="checkbox"/>	<input type="checkbox"/>
Exhibition Center				X	<input type="checkbox"/>
Fountain or Public Art	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Library		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Live Theater			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Movie Theater			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Museum		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Auditorium	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parking Structure			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Passenger Terminal			X	X	<input type="checkbox"/>
Playground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sports Stadium				X	<input type="checkbox"/>
Surface Parking Lot		X	X	X	<input type="checkbox"/>
Religious Assembly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>f. Other: Agriculture</b>					
Grain Storage					X
Livestock Pen					X
Greenhouse	X				X
Stable	X				X
Kennel	X	X	X	X	X
<b>f. Other: Automotive</b>					
Gasoline			X	X	<input type="checkbox"/>
Automobile Service					<input type="checkbox"/>
Truck Maintenance					<input type="checkbox"/>
Drive-Through Facility			X	X	<input type="checkbox"/>
Rest Stop					X
Roadside Stand					X

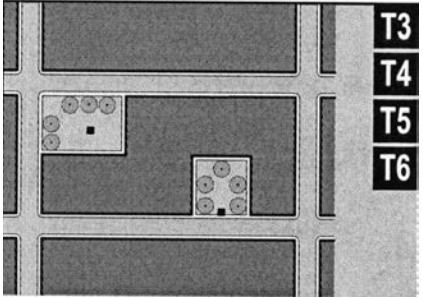
Billboard				X	X
Shopping Center					X
Shopping Mall					X
<b>f. Other: Civil Support</b>					
Fire Station	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Police Station		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cemetery	X	X			<input type="checkbox"/>
Funeral Home		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hospital			X	X	<input type="checkbox"/>
Medical Clinic		X	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>f. Other: Education</b>					
College			X	X	<input type="checkbox"/>
High School		X	X	X	<input type="checkbox"/>
Trade School			X	X	<input type="checkbox"/>
Elementary School	X	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other-Childcare Center	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
<b>f. Other: Industrial</b>					
Heavy Industrial Facility					<input type="checkbox"/>
Light Industrial Facility				X	<input type="checkbox"/>
Truck Depot					<input type="checkbox"/>
Laboratory Facility				X	<input type="checkbox"/>
Water Supply Facility					<input type="checkbox"/>
Sewer and Waste Facility					<input type="checkbox"/>
Electric Substation	X	X	X	X	<input type="checkbox"/>
Cremation Facility					<input type="checkbox"/>
Warehouse				X	<input type="checkbox"/>
Produce Storage					<input type="checkbox"/>
Mini-Storage					<input type="checkbox"/>

☐ By right

☐ By warrant

**Table 8: Civic Space**

a.	<p><b>Park:</b> A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of paths and trails, meadows, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 15 acres. Larger parks may be approved by warrant as districts in all zones.</p>	 <p>T3</p>
b.	<p><b>Green:</b> An open space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 2 acres and the maximum shall be 15 acres.</p>	 <p>T3 T4 T5</p>
c.	<p><b>Square:</b> An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1 acre and the maximum shall be 5 acres.</p>	 <p>T4 T5 T6</p>
d.	<p><b>Plaza:</b> An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important streets. The minimum size shall be 1 acre and the maximum shall be 2 acres.</p>	 <p>T5 T6</p>

e.	<p><b>Playground:</b> An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>	
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**Table 9: Special District Summary.** Special Districts (SD) are areas that cannot or should not comply with this Code. The metrics for each column of this table (SD1, SD2, etc.) are to be filled out with the details of Special Districts designated after the effective date of this Code, as each is approved. For existing Special Districts under zoning in place before the effective date of this Code, refer to the existing local codes and ordinances. More pages can be added.

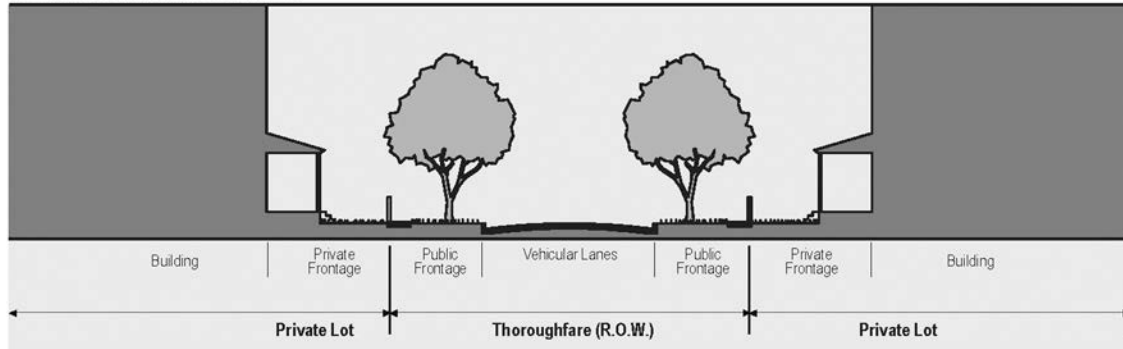
	District	District	District	District	District	District	District	
<b>A. Allocation of Zones</b>								
a. CLD/Cluster	X							
b. TMD/Village	X							
c. TOD/Town	X							
<b>B. Base Density Allocation</b>								
a. Housing By Right	X unit/X ac. avg							
b. By TDR	X							
c. Other Functions	X							
<b>C. Block Size</b>								
a. Block Perimeter	X							
<b>D. Public Frontages</b>								
a. Rural Road	X							
b. Standard Road	X							
c. Residential Road	X							
d. Residential Street	X							
e. Standard Street	X							
f. Commercial Street	X							
g. Avenue	X							

h.	Boulevard	X						
i.	Rear Lane	X						
j.	Rear Alley	X						
k.	Path	X						
l.	Passage	X						
m.	Bicycle Trail	X						
n.	Bicycle Lane	X						
o.	Bicycle Route	X						
E. Civic Spaces								
a.	Park							
b.	Green	X						
c.	Square	X						
d.	Plaza	X						
e.	Playground	X						
F. Lot Occupation								Disposition
a.	Lot Width	X						
b.	Lot Coverage	X						
G. Building Setback								
a.	Front Setback	X						
b.	Side Setback	X						
c.	Rear Setback	X						
H. Building Type								
a.	Edgeward	X						
b.	Sideward	X						
c.	Rearyard	X						
I. Private Frontages Type								Configuration
a.	Common Yard	X						
b.	Porch and Fence	X						
c.	Terrance or L. C.	X						
d.	Forecourt	X						
e.	Stoop	X						
f.	Shop front	X						
g.	Gallery	X						

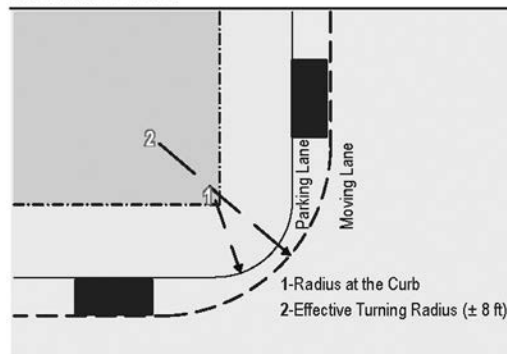
h.	Arcade	X						
i.	Parking Lot	X						
a.	Principal Building	X						
b.	Outbuilding	X						
K. <i>Building Function</i>								Function
a.	Residential							
b.	Lodging	X						
c.	Office	X						
d.	Retail	X						

**Table 10 Definitions Illustrated**

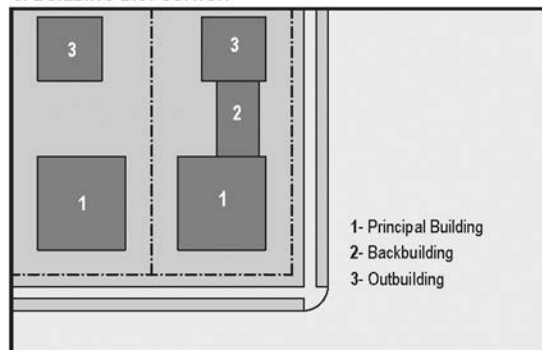
**A. THOROUGHFARE & FRONTAGES**



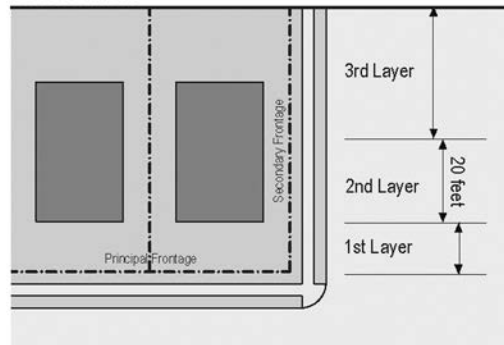
**B. TURNING RADIUS**



**C. BUILDING DISPOSITION**



**D. LOT LAYERS**



**E. FRONTAGE & LOT LINES**



**ARTICLE 4. DEFINITIONS OF TERMS**

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the Planning office shall determine the correct definition of the term.



## DEFINITIONS

**Affordable Housing:** dwellings consisting of rental units or for-sale units. Both shall be economically within the means of the equivalent of the starting salary of a local elementary school teacher.

**Ancillary Unit:** an apartment not greater than 600 square feet sharing ownership and utility connections with a Principal Building. An Ancillary Unit may or may not be within an outbuilding. Ancillary Units do not count toward maximum density calculations (see Tables 6 and 10).

**Apartment:** a dwelling unit sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums.

**Attic:** an interior space that occurs within the roof structure, whether conditioned or unconditioned.

**Backbuilding:** a single-story structure connecting a principal building to an outbuilding (see Table 10).

**Block:** the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

**Block Face:** the aggregate of all the building facades on one side of a block. The Block Face provides the context for establishing architectural harmony.

**Building Configuration:** the form of a building, based on its massing, private frontage, and height.

**Building Disposition:** the placement of a building on its lot (see Tables 2 and 8).

**Building Function:** the uses accommodated by a building and its lot. Functions are categorized as Restricted, Limited, or Open, according to the intensity of the use (see Tables 5 and 7).

**Building Height:** the vertical extent of a building measured in stories, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures. Building Height shall be measured from the average grade of the enfronting thoroughfare to the eave of a pitched roof or to the surface of a flat roof (see Table 3).

**Building Type:** a structure category determined by function, disposition on the lot, and configuration, including frontage and height.

**By Right Permit:** a proposal for a building or community plan that complies with this code and may thereby be processed administratively, without public hearing (see Warrant, Variance).

**Civic:** the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

**Civic Building:** a building designed specifically for a Civic Function. The particulars of their design shall be determined by Variance.

**Civic Parking Reserve:** parking structure or lot within a quarter-mile of the site that it serves. Space may be leased or bought from this Reserve to satisfy parking requirements.

**Civic Space:** an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their enfronting buildings.

**Commercial:** the term collectively defining workplace, Office and Retail functions.

**Common Destination:** An area of focused community activity defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic

Building, a Commercial center, a bus stop. A Common Destination may act as the social center of a Neighborhood. (See Section 2.7 Civic Function).

**Cottage:** an Edgeyard Building Type. A single-family dwelling, on a regular lot, often shared with an Ancillary Building in the rear yard.

**Courtyard Building:** a building that occupies the boundaries of its lot while internally defining one or more private patios.

**Curb:** the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system.

**Density:** the number of dwelling units within a standard measure of land area, usually given as units per acre.

**District:** see Special District.

**Downtown Development Authority:** Part of the Planning Office, the DDA is established pursuant to Ordinance 11646 and has jurisdiction over the permitting of a project.

**Driveway:** a vehicular lane within a lot, usually leading to a garage. A Driveway in the First Layer may be used for parking if it is no more than 18 feet wide, thereby becoming subject to the constraints of a parking lot.

**Edgeyard Building:** a building that occupies the center of its lot with Setbacks on all sides.

**Effective Turning Radius:** the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking (accounting for parked cars). The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. (See Table 10.)

**Elevation:** an exterior wall of a building not along a Frontage Line. See: Facade (see Table 10)

**Enfront:** to place an element along a frontage line, as in "porches enfront the street."

**Entrance, Principal:** the main point of access of pedestrians into a building.

**Estate House (Syn.: Country house, Villa):** an Edgeyard Building Type. A single-family dwelling on a very large lot of rural character, often shared by one or more Ancillary Buildings.

**Exterior Environmental Features:** all those aspects of the landscape or the development of a site which affect the character of the property.

**Facade:** the exterior wall of a building that is set along a Frontage Line (see Elevation; Frontage Line).

**Frontage Line:** those lot lines that coincide with a public frontage. Facades along Frontage Lines define the public realm and are therefore more regulated than the Elevations that coincide with other Lot Lines (see Table 10).

**Home Occupation:** non-retail Commercial enterprises permitted in Zones T3-6. The work quarters should be invisible from the frontage, located either within the house or in an Outbuilding. Permitted activities are defined by the Restricted Office category (Tables 5 and 7).

**House (Syn.: Single):** an Edgeyard Building Type. A single-family dwelling on a large lot, often shared with an Ancillary Building in the rear yard.

**Independent Building:** a building designed by a different architect from the adjacent buildings.

**Layer:** a range of depth of a lot within which certain elements are permitted (see Table 10).

**Liner Building:** a building specifically designed to mask a parking lot or a parking garage from a frontage. A Liner Building, if less than 30 feet deep and two stories, shall be exempt from parking requirements.

**Live-Work:** a fee-simple dwelling unit that contains a Commercial component anywhere in the unit. (Syn.: Flexhouse.) (See Work-Live.)

**Lodging:** premises available for daily and weekly renting of bedrooms. The area allocated for food service shall be calculated and provided with parking according to Retail use.

**Lot Line:** the boundary that legally and geometrically demarcates a lot (see Frontage Line). Such lines appear graphically on Building Scale Plans. Codes reference lot lines as the baseline for measuring Setbacks (see Table 10).

**Lot Width:** the length of the principal Frontage Line of a lot.

**Manufacturing:** premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and including their retail sale.

**Material Change in Appearance:** a change that will affect either the exterior architectural or environmental features of a property or any building, structure, site, object, or landscape feature within the Downtown Lakefront district, such as:

1. A reconstruction or alteration of the size, shape or façade of a property, including relocation of any doors or windows or removal or alteration of any architectural features, details or elements;
2. Demolition or relocation of a historic structure;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; or
5. The erection, alteration, restoration or removal of any buildings or other structure within a property or district, including walls, fences, steps and pavements, or other appurtenant features, except exterior paint alterations.

**Meeting Hall:** a building available for gatherings, including conferences. It should accommodate at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the pedestrian shed in which the meeting hall is located. A Meeting Hall shall be completed upon the sale of 75 per cent of the dwelling units. The Meeting Hall may be used for the marketing purposes of the development until the sale of 75 per cent of the dwelling units, at which time control of its use shall be given to the Community Council.

**Mixed Use Building:** multiple functions within the same building through superimposition or adjacency.

**Neighborhood:** an urbanized area at least 40 acres that is primarily Residential. A Neighborhood shall be based upon a partial or entire Standard Pedestrian Shed. The physical center of the Neighborhood should be located at an important traffic intersection associated with a Civic or Commercial institution.

**Office:** premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

**Outbuilding:** an Ancillary Building, usually located towards the rear of the same lot as a Principal Building. It is sometimes connected to the Principal Building by a Backbuilding. Outbuildings shall not exceed 600 square feet of habitable space, excluding parking areas (see Table 10).

**Parking Structure:** a building containing two or more stories of parking. Parking Structures shall have Liner Buildings at the first story or higher.

**Passage (PS):** a pedestrian connector passing between buildings, providing shortcuts through long blocks and connecting rear parking areas to frontages. Passages may be roofed over.

**Path (PT):** a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space. Paths should connect directly with the urban sidewalk network.

**Primary-Secondary Grid:** thoroughfare designations appearing on the Regulating Plan. Buildings on the P-Grid are subject to all of the provisions of this Code. Buildings on the S-Grid are exempt from certain provisions, allowing for Warranted open parking lots, unlined parking decks, drive-throughs and hermetic building fronts.

**Principal Building:** the main building on a lot, usually located toward the frontage (see Table 10).

**Private Frontage:** the privately held layer between the Frontage Line and the Principal Building facade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the Setback and the combination of architectural elements such as fences, stoops, porches and galleries (see Table 4).

**Public Frontage:** the area between the curb of the vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight. Along the waterfront in the T-6 zone, Public Frontage is the edge of the Servitude of Public Use as defined in, or modified per, Section 7-09 of the City Charter.

**Rear Alley (AL):** a vehicular driveway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.

**Rear Lane (LA):** a vehicular driveway located to the rear of lots providing access to parking and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to driveway standards. Its streetscape consists of gravel or landscaped edges, no raised curb and is drained by percolation.

**Rearyard Building:** a building that occupies the full Frontage Line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous Facade spatially defines the public thoroughfare. For its residential function, this type yields a Rowhouse. For its Commercial function, the rear yard can accommodate substantial parking.

**Residential:** premises available for long-term human dwelling.

**Retail:** premises available for the sale of merchandise and food service.

**Retail Frontage Line:** Frontage Lines designated on a Community Plan that require the provision of a Shopfront, causing the ground level to be available for retail use.

**Rowhouse:** a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line (Syn: Townhouse; see Rearyard Building).

**Secondary Grid:** see Primary-Secondary Grid.

**Setback:** the area of a lot measured from the lot line to a building Facade or Elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first Story level) which are permitted to encroach into the Setback.

**Shared Parking Policy:** an accounting for parking spaces that are available to more than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies

according to multiple functions in close proximity which are unlikely to require the spaces at the same time (see Tables 5 and 6).

**Sideward Building:** a building that occupies one side of the lot with a Setback to the other side.

**Sidewalk:** the paved layer of the Public Frontage dedicated exclusively to pedestrian activity.

**Specialized Building:** a building that is not subject to Residential, Commercial, or Lodging classification. Most Specialized Buildings are dedicated to Manufacturing and transportation, and are distorted by the trajectories of machinery.

**Special District (SD):** Special District designations shall be assigned to areas that, by their intrinsic Function, Disposition, or Configuration, cannot conform to one of the six Transect Zones specified by this Code. Typical Districts may include large parks, institutional campuses, refinery sites, airports, etc.

**Story:** a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height. (See Building Height.)

**Streetscape:** the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building Facades and Elevations, porches, yards, fences, awnings, etc.), and the amenities of the Public Frontages (street trees and plantings, benches, streetlights, etc.).

**Streetscreen:** sometimes called Streetwall. A freestanding wall built along the frontage line, or coplanar with the Facade, often for the purpose of masking a parking lot from the thoroughfare. Streetscreens [should] be between 3.5 and eight feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be a hedge or fence by Warrant. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian access. In addition, all Streetscreens over four feet high should be 30 per cent permeable or articulated to avoid blank walls.

**Structure:** a work made up of interdependent and interrelated parts in a definite pattern of organization. Constructed by man, it is often an engineering project large in scale.

**Substantial Modification:** alterations to a building that are valued at more than 50 per cent of the replacement cost of the entire building, if new.

**Town Center:** the mixed-use center or main Commercial corridor of a community. A Town Center in a hamlet or small TND may consist of little more than a meeting hall, corner store, and main civic space. A Town Center for RCD or TOD communities may be a substantial downtown Commercial area, often connected to other Town Centers by transit.

**Townhouse:** Syn. Rowhouse. (See Rearyard Building.)

**Transect:** a system of ordering human habitats in a range from the most rural to the most urban.

**Transect Zone (T-Zone):** One of six Zones that are administratively similar to the land-use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and the enfronting public Streetscape. The elements are determined by their location on the Transect scale. The T-Zones are: T1 Natural, T2 Rural, T3 Sub-Urban, T4 General Urban, T5 Urban Center, and T6 Urban Core (see Table 1).

**Transition Line:** a horizontal line spanning the full width of a Facade, expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

**Turning Radius:** see Effective Turning Radius.

**Type:** a category determined by Function, Disposition, and Configuration, including size or extent. (See also: Building Type.)

**Variance:** a ruling that would permit a practice that is not consistent with either a provision or the Purpose of this Code (Section 1.2). Variances are usually granted by the Board of Appeals in a public hearing. See Section 1.5.

**Warrant:** a ruling that would permit a practice that is not consistent with a specific provision of this Code, but is justified by its Purpose (Section 1.2). Warrants are usually granted administratively by the CRC. See Section 1.5.

**Work-Live:** a fee-simple mixed-use unit with a substantial Commercial component that may accommodate employees and walk-in trade. Therefore the unit shall require ADA compliance for accessibility. (Syn.: Live-With.) (See Live-Work.)